



Government of Karnataka

Directorate of Municipal Administration

State Level Nodal Agency

**Karnataka Slum Development Board
Implementing Agency**

HOUSING FOR ALL-2022

CSMC Meeting

Date: 11th August 2016

Time: 11.00 AM

Venue: NBO, MIS Centre Room No 120 Nirman Bhavan New Delhi.

HOUSING FOR ALL

- GoI launched HFA Mission on 25.06.2015
- Cabinet accorded approval for implementation of HFA by dovetailing with Vajapayee & Ambedkar scheme on 16.12.2016.
- State has signed MoA with GoI on 17.12.2015
- GoI has accorded approval for inclusion of 214 cities under HFA.
- State has identified DMA as SLNA.
- State has constituted SLSMC/SLAC/DLCCMC Committees/ City Level Missions.
- 3rd SLSMC, Dated 02.07.2016 accorded approval for projects under PMAY-HFA.

HOUSING FOR ALL

- State fixed income Criteria as follows:
 - BPL - Upto Rs. 87000 p.a.
 - EWS - Rs. 87000 to Rs. 3.00 lakh p.a
 - LIG - Rs. 3.00 to 6.00 lakh p.a
- Concerned departments are nominated as Designated Agencies.

Sl. No	Components	Designated Agency	Remarks
1.	In-situ Redevelopment using land as resource	KSDB	Designated Agencies will be responsible for preparation of DPR and Implementation of the same in co-ordination with different IAs.
2.	AHP	KHB	
3.	BLC	RGRHCL	
4.	CLSS	HUDCO/NHB	

STATE FUNDING

(Rs. in Lakhs)

Sl. No.	Vertical	Sharing Pattern	
		GoI	GoK
1	In-situ Slum Redevelopment	1.0	1.2 for General 1.8 for SC/ST (Converged with VVY & ANY)
2	BLE	1.5	
3	AHP	1.5	
4	CLSS	Rs. 6.00 lakh loan with interest subsidy @ 6.5% for max. of 15 years	

- State identified following department as IAs:
KSDB, ULBs, UDAs, Central Government Departments, Department of Commerce and Industries, Labour Department, KSHDCL, KPHCL, Nirmithi Kendra, private entrepreneur etc,

Proposals of KSDB for approval of following DPRs (9741 DUs) under AHP -HFA.

(Rs. in Lakhs)											
Sl. No	Name of the City	No. of Dus	Cost per DU	Project Cost	Central Share	State Share	Beneficiaries share	ULB share	Housing Cost	Infrastructure Cost	Other cost
1	Ballari	1188	4.05	5681.69	1782.00	1859.96	851.71	1188.02	4812.48	598.65	270.55
2	Raichur	1050	3.80	4689.08	1575.00	1684.29	670.70	759.11	3989.12	476.67	223.29
3	Vijayapura	1028	4.05	4601.48	1542.00	1722.72	650.43	686.33	4167.19	215.17	219.12
4	Bagalkot	784	3.95	3256.38	1176.00	1522.46	338.51	218.91	3101.32	0.00	155.06
5	Chikkaballapura	242	3.78	1138.29	363.00	371.00	166.75	237.54	917.17	166.92	54.20
6	Bidar	1500	3.80	6301.57	2250.00	2232.96	797.48	1016.12	5700.00	359.19	242.37
7	B'lore - Basavangudi	1699	4.85	9947.37	2548.50	3021.88	1236.27	3140.72	8248.35	1225.32	473.68
8	Bangalore-Padmanabhanagar	895	4.85	5258.40	1342.50	1373.62	830.10	1712.17	4345.81	662.63	249.63
9	Mysore	700	4.80	4196.32	1050.00	1099.82	624.00	1422.50	3360.00	636.50	199.82
10	Mysore	655	4.80	3856.65	982.50	1098.65	525.60	1249.90	3144.00	529.00	183.65

Proposal of Gadag –Betageri CMC for approval of following DPRs

AHP –HFA									Rs. In lakh
Name of the City	No. of Dus	Project Cost	Gol Share	GoK Share	Beneficiaries share	Bank Loan	ULB share	Housing Cost	Infrastructure Cost
Gadag	3630	20364.3	5445.00	4942.80	3385.50	6346.50	244.50	20364.3	0.00

BLC –HFA.										Rs. In lakh
No. of Dus	Name of Location	Project Cost	Gol Share	GoK Share	Beneficiaries share	Bank Loan	ULB share	Housing Cost	Infrastructure Cost	Other cost
2240	All over 35 wards	7840	3360.00	2963.40	1516.60	0.00	0.00	7840.00	0.00	0.00

- Houses proposed are scattered across the ULB.
- It is difficult to prepare individual estimate/design etc and direct the beneficiary to construct approved type design.
- Hence, a type design and estimate with the unit cost (minimum) are enclosed in the DPR.
- It will be ensured that beneficiary will construct the min carpet area as per the originally sanctioned plan. Further, beneficiary is permitted to modify the design as per site condition, the requirement and the economic condition.

Proposals of ULBs seeking approval for construction of houses for Pourakarmikas under AHP-HFA :

Rs. In lakh									
Name of IA	No of Districts	No. of DUs	Project Cost	Central Share	State Share	Beneficiaries share	Housing cost	Infrastructure Cost	Other cost
ULBs	62	637	4777.5	955.5	3822	0.0	4777.5	0.0	0.0
ULBs	30	4460	33450	6690	26760	0.0	33450	0.0	0.0
Total	92	5097.0	38227.5	7645.5	30582.0	0.0	38227.5	0.0	0.0

- State resolved to converge State Pourakarmika Gruha Bhagya scheme with HFA.

- Funding Pattern

Rs. In lakh			
Unit cost	Gol Share	GoK share	Ben. share
7.5	1.5	6.00	0.00

- Under HFA, Permissible carpet area -30 sqmt.
- However, State has flexibility of fixing max. carpet area, but without any enhanced Gol share.
- Carpet area fixed under PKGB Scheme is 46.45 sq.mt.
- ULBs would like to provide better quality & slightly spacious house for deprived category
- Hence, it is requested to provide the relaxation in the carpet area and to consider DUs under EWS category.

01. BALLARI CITY

CITY AREA IN SQ KM	81.95SQ Km
POPULATION AS PER 2011 CENSUS	4,09,644.00
NO OF SLUMS	70
NO OF NOTIFIED SLUMS	59
NO OF NON- NOTIFIED SLUMS	11
SLUM POPULATION	81635
NO OF HOUSE HOLDS IN SLUMS	16408
PERCENTAGE OF SLUM POPULATION	20%

DPR Findings

Construction of 1188 (G.F) Du's Including Infrastructure at 7 selected Slums (in-situ redevelopment) in BALLARI City Under PMAY-HFA

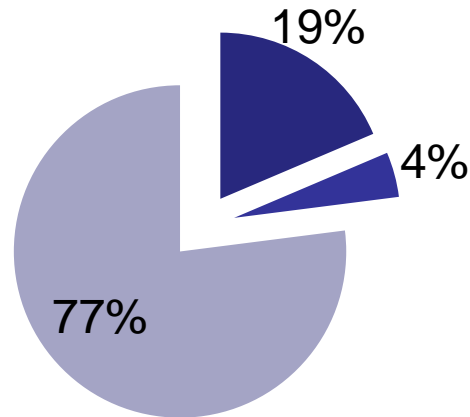
Sl. No.	Name of the Slum	Area of Extent (in Acres-Guntas)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under PMAY-HFA	Mode of development proposed
1	KORACHA COLONY TS NO:928	1-75	Govt.	439	GF	118	In-situ development
2	KORACHA COLONY TS NO:930	2-00	CMC	702	GF	341	In-situ development
3	JAGRUTHI NAGAR 1	6-04	CMC	514	GF	326	In-situ development
4	JAGRUTHI NAGAR 2	2-10	CMC	219	GF	128	In-situ development
5	SAMATHA NAGAR	2-25	Govt.	240	GF	118	In-situ development
6	KABARSTAN (COWL BAZAR AREA)	3-00	CMC	174	GF	109	In-situ development
7	KAMELA AREA (COWL BAZAR AREA)	3-00	CMC	93	GF	48	In-situ development
	Total			2381		1188	9

SI No.	Name of the slums	In-situ Development
1	7 Selected slums of BALLARI City	In view of unhygienic condition, vulnerable nature, housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 7 Selected slums of BALLARI City on the need basis.

Details of Beneficiaries

Identified			DUs proposed(HFA)				
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
221	52	915	1188	221	52	915	1188

■ SC ■ ST ■ Others



Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE** – EWE, SAND & BOULDERS, M7.5 CC, SSM
(FOUNDATION), SSM (BASEMENT), PLINTH BEAM
- **SUPER STRUCTURE** – 200 MM THK SOLID BLOCK MASONRY
- **FLOORING & SKIRTING** - CUDAPPA
- **KITCHEN** - CUDAPPA SINK AND PLATFORM
- **DOORS** – ROOM & HALL: PANELLED/-FLUSH DOORS
- **TOILETS** - PVC
- **WINDOWS & VENTILATORS** – M.S. STEEL
- **PAINTING - INTERNAL WALLS** : OIL BOUND DISTEMPER
- **EXTERNAL WALLS** : WATER PROOF CEMENT
- **WATER SUPPLY AND SANITARY SYSTEM** - INTERNAL & EXTERNAL
- **ELECTRICAL SYSTEM** - INTERNAL & EXTERNAL

“Construction of 1188 (G.F) Du's Including Infrastructure at 7 selected Slums (in-situ redevelopment) in BALLARI City Under PMAY-HFA”

Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	1782	1589.4	589.37	851.71	4812.48
Infrastructure	-	-	598.65	-	598.65
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	270.56	-	-	270.56
Total	1782	1859.96	1188.02	851.71	5681.69

Beneficiary Contribution per Family = SC/ST Rs. 0.405 & Others Rs. 0.81 Lakhs

Housing to Infrastructure Ratio = 88:12

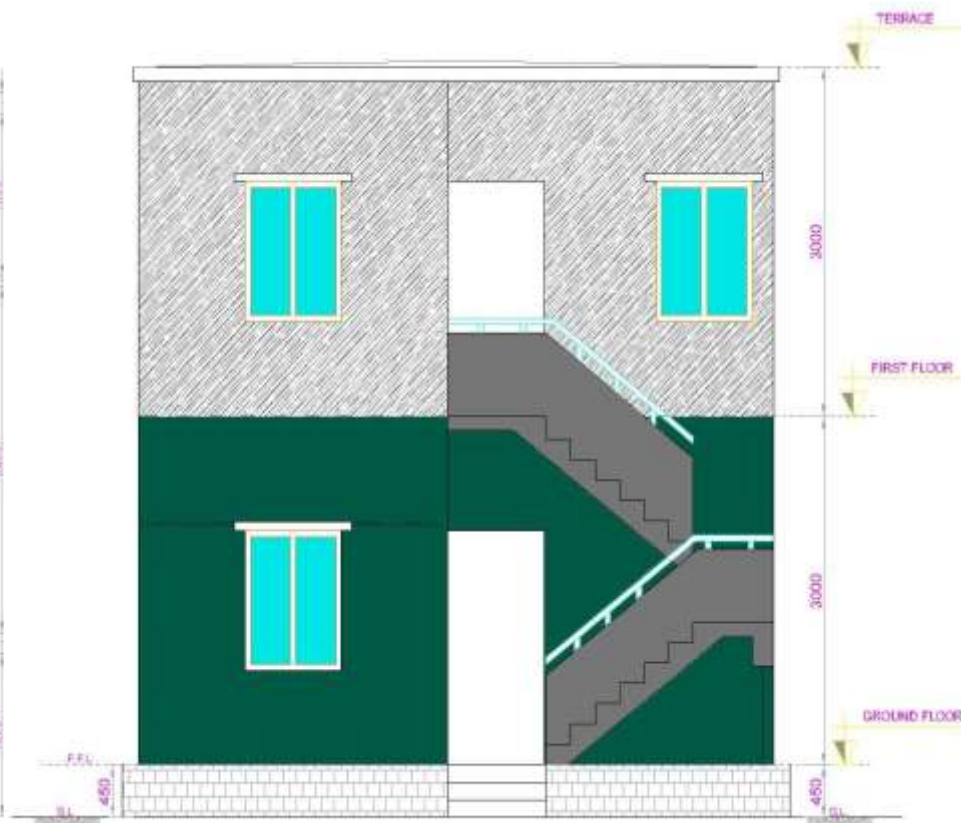
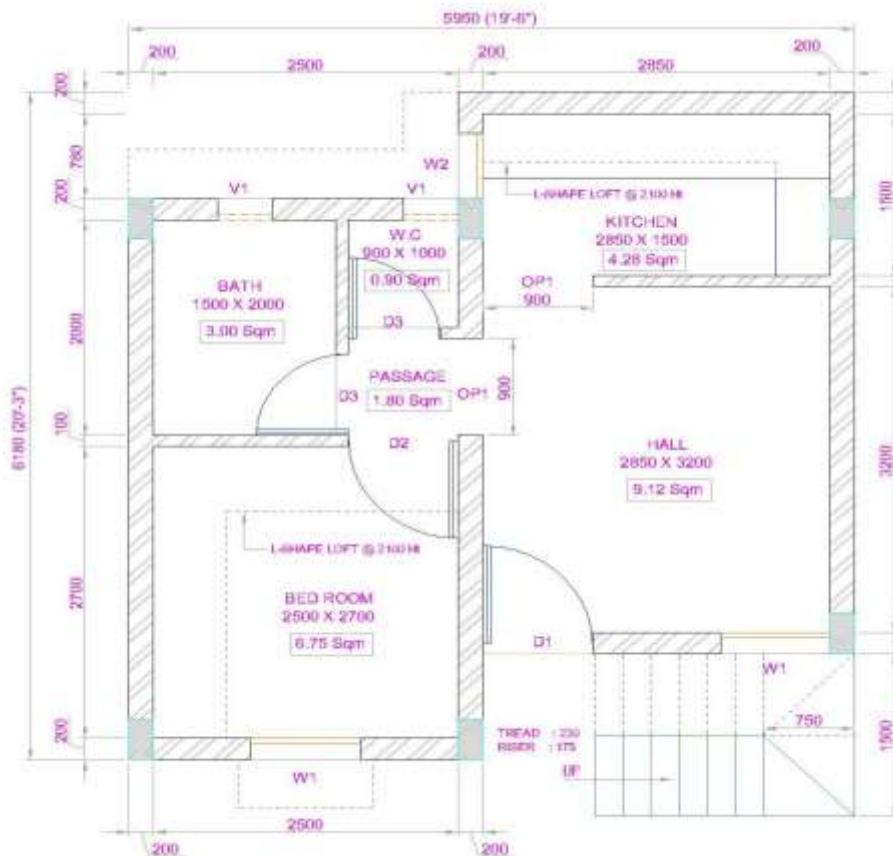
Cost per Du : Rs. 4.05 Lakhs

Cost of infra per Du : Rs. 0.50 Lakhs

Cost per Sqft. : Rs. 1659/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.5681.69 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall	=	9.86 Sqm
Bedroom	=	7.25 Sqm
Kitchen	=	5.22 Sqm
Bath	=	3.00 Sqm
WC	=	0.90 Sqm
Passage	=	0.77 Sqm
Total Carpet Area	=	27.00 Sqm

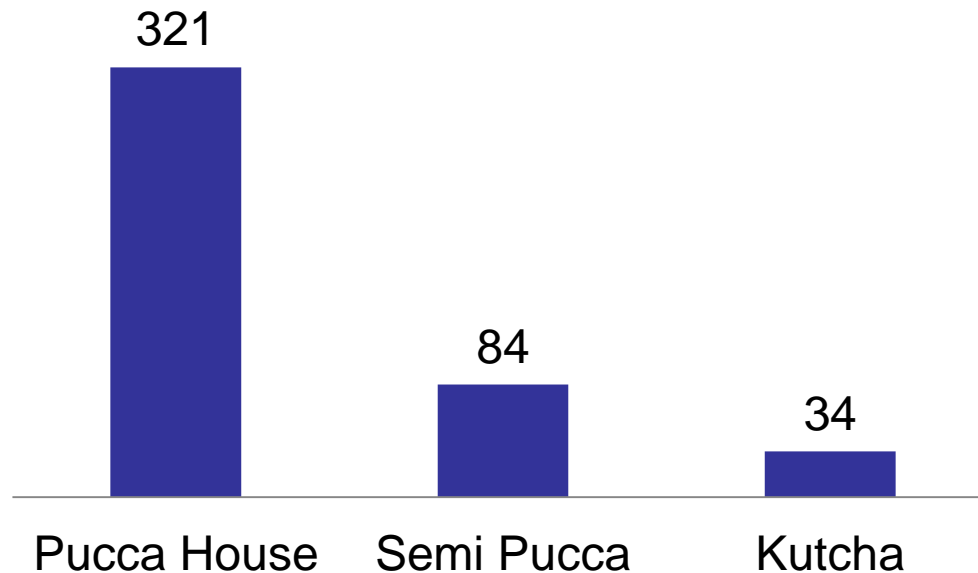
Existing Scenario of Koracha Colony slum TS No. 928 , Ballari City



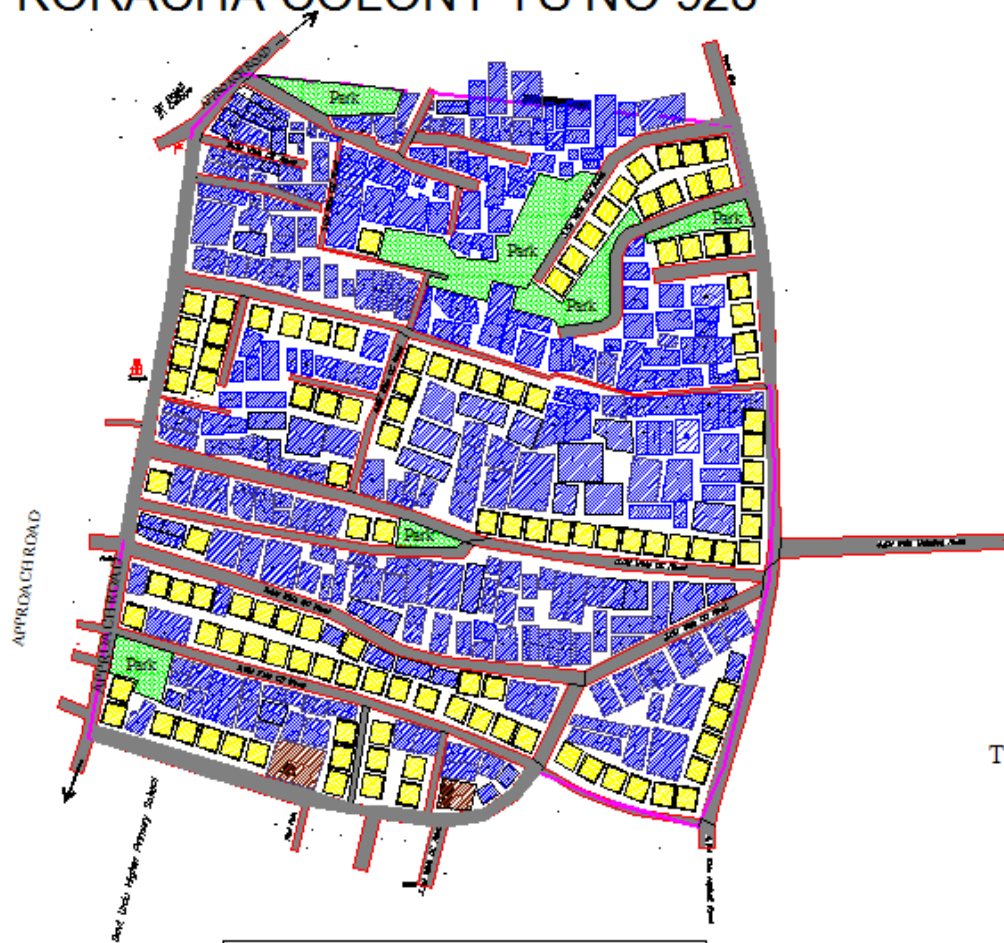
Details of Pucca, Semi Pucca and Kutcha Houses

Pucca Houses	321
Semi Pucca Houses	84
KutchaHouses	34

Koracha Colony



KORACHA COLONY TS NO 928



LAYOUT DRAWING OF KORACHA COLONY TS NO.928

Total no of Houses Proposed 118 Du's

- Proposed Houses
- Pucca Houses
- Community Area
- Park Area
- Road Area

Pucca Houses	321
Semi Pucca Houses	84
Kuccha Houses	34
Total No of Houses	439

Note : Minimum set back in between two houses whether existing or proposed will be as per the Municipal Bye laws or min set back of 3'0" (1.00 M) will be maintained

PROPOSED HOUSES : 118				LAND USE ANALYSIS :			
TYPE OF HOUSE	AREA	NO	TOTAL AREA	TOTAL SITE AREA	10820.00sqm	LR	4.54
SINGLE HOUSE	23.22 sqm	118	2740.02 sqm	PLOT COVERAGE AREA	3814.24 sqm	35.27	
				ROAD AREA	1070.94 sqm	15.12	
				COMMUNITY AREA	118.09 sqm	1.88	
OPEN Space	1214.82 sqm		1085.18 sqm	Park Area	275.83 sqm	3.95	
				TOTAL PLOT COVERAGE AREA :	5814.34 SQM		
				TOTAL AREA	10820.00sqm	100	

- NOTES:**
- DO NOT SCALE THE DRAWING
 - DRAWING SHOULD BE READ, NOT MEASURED
 - ALL DIMENSIONS ARE IN METERS
 - CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 - ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER.



ASST. EXECUTIVE ENGINEER,
KSDS

EXECUTIVE ENGINEER,
KSDS

TECHNICAL DIRECTOR,
KSDS, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KSDS,
BANGLORE

CLIENT:
PMAY-HFA
KARNATAKA SLUM
DEVELOPMENT BOARD

CONSULTANTS-
Sukrithi Consultants
Consulting Engineers and Architects
11a/9 & 9/10, 1st floor,
Mahakshetrinagar,
Bangalore - 560005.
Ph-080-22-68609, 5,903-682089

LAYOUT SHOWING THE
PROPOSED HOUSING UNDER
PRADHAN MANTRI AWAS
Yोजना HOUSING FOR ALL
AT KORACHA COLONY TS NO 928
IN BELLARY CITY



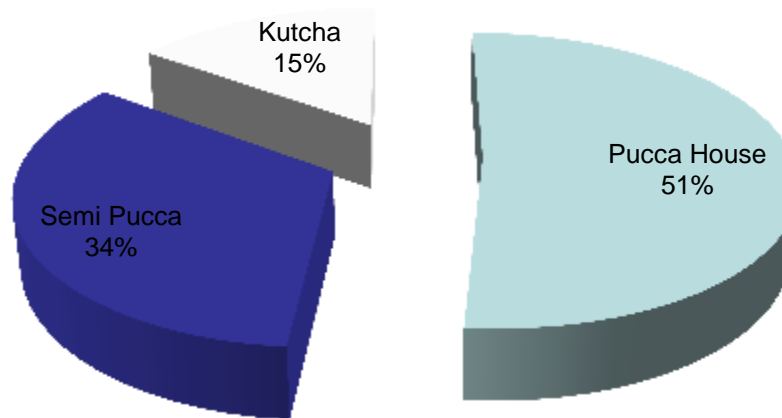
**Existing Scenario of
Koracha Colony slum
T.S.No:930 , Ballari City**



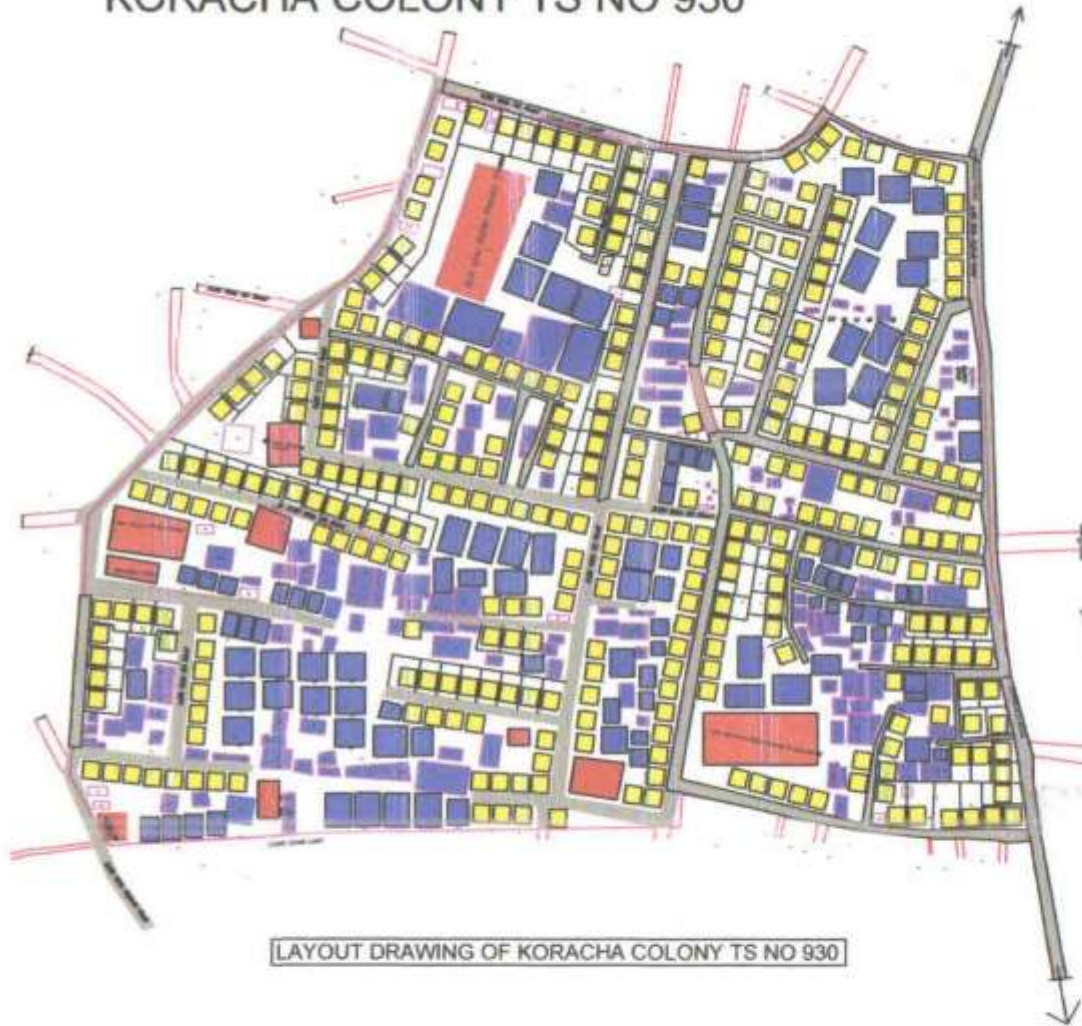
Details of Pucca, Semi Pucca and Kutcha Houses

Pucca House	361
Semi Pucca	235
Kutcha	106

Koracha Colony slum T.S.No:930



KORACHA COLONY TS NO 930



LAYOUT DRAWING OF KORACHA COLONY TS NO 930

Total no of Houses Proposed 341 Dn/s

- Index:
- Proposed Houses
 - Pucca Houses
 - Community Area
 - Road Area

Pucca Houses	361
Semi Pucca Houses	235
Kuccha Houses	106
Total No of Houses	702

Note : Minimum set back in between two houses whether existing or proposed will be as per the Municipal Bye laws or min set back of 3'0" (1.00 M) will be maintained

PROPOSED HOUSES - 341				LAND USE ANALYSIS	
TYPE OF HOUSE	AREA	NO'S	TOTAL AREA	TOTAL SITE AREA	LAND USE %
SMALL HOUSE	22.38 sqm	341	1180.96 sqm	14347.26 sqm	86.75
ROAD AREA				148.75 sqm	0.93
OPEN Space			271.24 sqm	218.48 sqm	1.34
Plot Area				—	—
TOTAL PLOT COVERAGE AREA			14047.36 SQM	TOTAL AREA	15866.00 sqm
					89

- NOTES**
1. TO MEET SCALE THE DRAWING
 2. DRAWING SHOULD BE SEAL NOT WEARABLE
 3. ALL DIMENSIONS ARE IN METERS
 4. CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 5. ALL DIMENSIONS OR CORRECTIONS NOTED IN THE DRAWING SHOULD BE REPORTED TO THE OFFICE OF THE CONCERNED ARCHITECT / ENGINEER



ASST. EXECUTIVE ENGINEER,
KSDDB

EXECUTIVE ENGINEER,
KSDDB

TECHNICAL DIRECTOR,
KSDDB, CENTRAL OFFICE,
BANGALORE

COMMISSIONER,
KSDDB,
BANGALORE

PMAY-HEA
KARNATAKA SLUM
DEVELOPMENT BOARD

CONSULTANTS
Sukanya Consultants
Civil Engineering & Architecture
No. 27B & 27C, 1st Floor,
Madduramathur Street,
Bangalore - 560026
ph: 080-22848475, 22848484

PROJECT TITLE
LAYOUT SHOWING THE PROPOSED HOUSING UNDER PRADHAN MANTRI AWAAS YOJANA HOUSING FOR ALL AT KORACHA COLONY TS NO 930 IN BELLARY CITY.

DRAWN:	HAYASHI	SCALE:	1:100
CHECKED:	RAJIBREDDY	DATE:	04/01/24
APPROVED:	PRASANN		
DRAWING NO:	SKRT/RAV/BEL/CLY-01	REV. NO.:	01

Existing Scenario of Jagruthi Nagar Phase 1 slum, Ballari City



JAGRUTHI NAGAR 1ST PHASE

Index: Proposed Houses
 Total No of Houses Proposed 326 DU's



LAYOUT DRAWING OF JAGRUTHI NAGAR 1ST PHASE

Pucca Houses	188
Semi Pucca Houses	137
Kuccha Houses	189
Total No of Houses	514

Note : Minimum set back in between two houses whether existing or proposed will be as per the Municipal Bye laws or min set back of 3'0" (1.00 M) will be maintained

PROPOSED VEHICLES				LAND USE ANALYSIS			
TYPE OF VEHICLE	AREA	NO. OF VEHICLES	AREA	TYPE OF LAND USE	AREA	PERCENTAGE	REMARKS
Auto Rickshaws	100	100	100	Residential	100	100	
Two Wheelers	100	100	100	Commercial	100	100	
Three Wheelers	100	100	100	Industrial	100	100	
Trucks	100	100	100	Public Use	100	100	
Other	100	100	100	Other	100	100	
TOTAL				TOTAL			

- NOTES**
1. TO BE SCALE THE DRAWING
 2. DIMENSIONS SHOULD BE IN METERS
 3. ALL DIMENSIONS ARE IN METERS
 4. CONTRACTOR SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 5. ALL DIMENSIONS SHOULD BE AS NOTED IN THE DRAWING UNLESS OTHERWISE NOTED TO THE CONTRARY
 6. THE CONTRACTOR SHOULD MAINTAIN THE SET BACKS AS NOTED IN THE DRAWING



ASST. EXECUTIVE ENGINEER,
KDD

EXECUTIVE ENGINEER,
KDD

TECHNICAL DIRECTOR,
KDD, CENTRAL OFFICE,
BANGALORE

COMMISSIONER,
KDD,
BANGALORE

RAY (RAJY AWAS YODANA)
KARNATAKA SLUM
DEVELOPMENT BOARD

RAY (RAJY AWAS YODANA)
KARNATAKA SLUM
DEVELOPMENT BOARD

LAYOUT SHOWING THE PROPOSED HOUSING UNDER RAJY AWAS YODANA AT JAGRUTHI NAGAR 1ST PHASE IN HELLARY CITY

DATE:	DATE:	SCALE:
DESIGNER:	DATE:	SCALE:
APPROVER:	DATE:	SCALE:

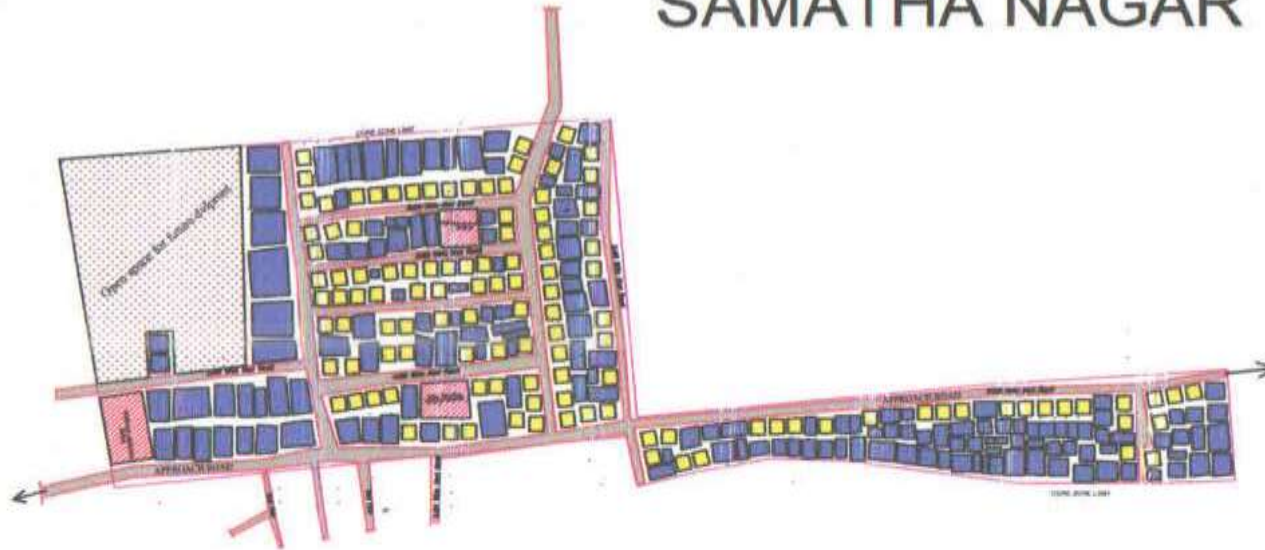
Existing Scenario of Jagruthi Nagar Phase 2 slum, Ballari City



Existing Scenario of Samatha Nagar slum, Ballari City



SAMATHA NAGAR



Total no of Houses Proposed 118 Du's

- Index:
- Proposed Houses
 - Pucca Houses
 - Road Area
 - Future Development

LAYOUT DRAWING OF SAMATHA NAGAR

Note : Minimum set back in between two houses whether existing or proposed will be as per the Municipal Bye laws or min set back of 3'0" (1.00 M) will be maintained

Pucca Houses	122
Semi Pucca Houses	87
Kuccha Houses	31
Total No of Houses	240

PROPOSED HOUSES : 103				LAND USE ANALYSIS :		
TYPE OF HOUSE	AREA	NOS	TOTAL AREA	TOTAL SITE AREA	9105.00 sqm	LAND USE IN %
SINGLE HOUSE	33.39 sqm	118	3940.02 sqm	PLOT COVERAGE AREA	5555.37 sqm	61.01
				ROAD AREA	1623.87 sqm	17.83
				COMMUNITY AREA	314.00 sqm	3.44
OPEN Space			1529.21 sqm	FUTURE DEVELOPMENT	1611.76 sqm	17.72
TOTAL PLOT COVERAGE AREA : 5555.37 SQM				TOTAL AREA	9105.00 sqm	100

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BANGLORE

COMMISSIONER,
K.SDB,
BANGLORE

CLIENT:
PMAY-HFA
KARNATAKA SLUM
DEVELOPMENT BOARD

CONSULTANT:-
Srikrishna Consultants
Consulting Engineers and Architects
No.9/ & 9/10, 1st floor,
Mahalakshmi Nagar,
Bangalore - 56006
ph-080-3248605,305682000

PROJECT TITLE:
LAYOUT SHOWING THE
PROPOSED HOUSING UNDER
PRADHAN MANTRI AWAS
YOJANA-HOUSING FOR ALL
AT SAMATHA NAGAR IN
BELLARY CITY

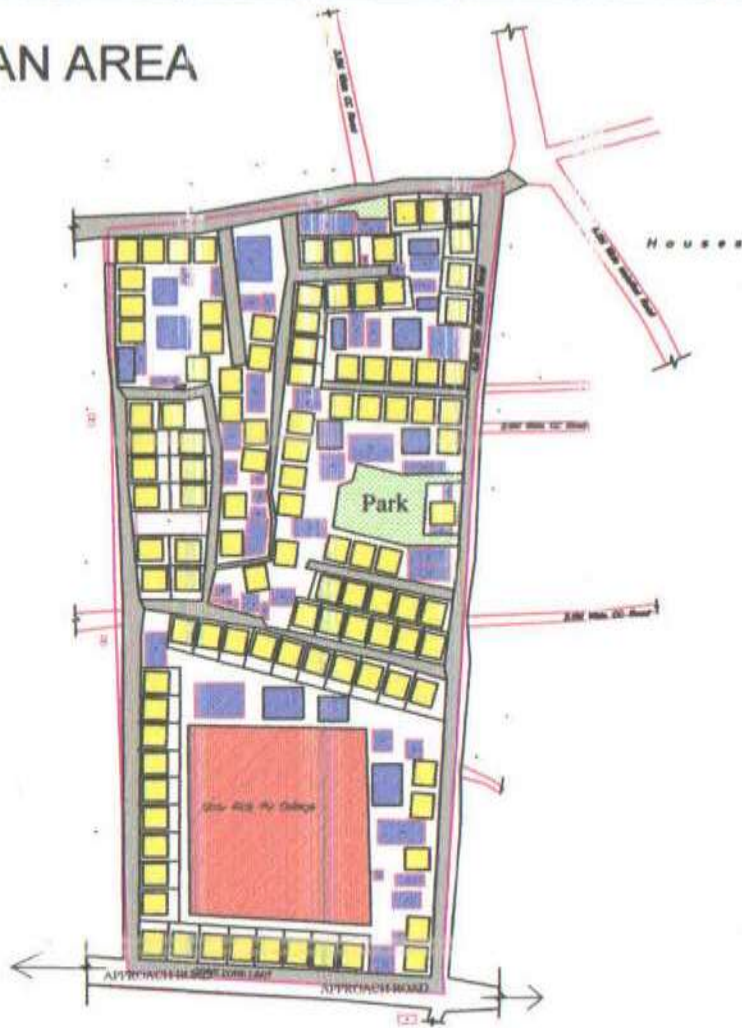
DRAWN	TAREK	SCALE
CHECKED	RAVIREDDY	M.T.S
APPROVED	PRAVEN	DATE
		10-04-14

PROJECT NO: SKR/TRAY/BEL/SN/LY-01 REV:00

Existing Scenario of Kabarsthan (Cowl Bazar Area slum, Ballari City



KABRASTAN AREA



Total no of Houses Proposed 109 Du's

- Proposed Houses
- Pucca Houses
- Community Area
- Park Area
- Road Area

LAYOUT DRAWING OF KABRASTAN AREA

Note : Minimum set back in between two houses whether existing or proposed will be as per the Municipal Bye laws or min set back of 3'0" (1.00 M) will be maintained

Pucca Houses	65
Semi Pucca Houses	38
Kuccha Houses	71
Total No of Houses	174

PROPOSED HOUSES: 109				LAND USE ANALYSIS		
TYPE OF HOUSE	AREA	MOS	TOTAL AREA	TOTAL SITE AREA	12140.00sqm	LAND USE IN %
SINGLE HOUSE	33.38 sqm	109	3638.21 sqm	PLOT COVERAGE AREA	8885.87 sqm	72.94
				ROAD AREA	1806.42 sqm	14.89
OPEN Space			2138.58 sqm	COMMUNITY AREA	1088.26 sqm	8.95
				Park Area	361.27 sqm	2.92
				TOTAL AREA	12140.00sqm	100
				TOTAL PLOT COVERAGE AREA	8885.87 SQM	

- NOTE:**
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A/ST. EXECUTIVE ENGINEER, KSDM

EXECUTIVE ENGINEER, KSDM

TECHNICAL DIRECTOR, (SDB, CENTRAL OFFICE), BANGLORE

COMMISSIONER, KSDM, BANGLORE

CLIENT: PMAY-HFA, KARNATAKA SLUM DEVELOPMENT BOARD

CONSULTANTS: Sreeji Consultants, 10/10/11, 1st Floor, Mahadevi Park, Bangalore - 560006, PH: 9845312493, 9845320009

PROJECT TITLE: LAYOUT SHOWING THE PROPOSED HOUSING UNDER PRADHAN MANTRI AWAAS YOJANA-HOUSING FOR ALL AT KAMELA KABARSTHAN IN BELLARY CITY

DRAWN BY: GAYADI	SCALE:
CHECKED BY: KAVI KESHI	SHEET:
APPROVED BY: PRAVEEN	DATE:
	14-06-25

Existing Scenario of Kamela Area (Cowl Bazar) slum, Ballari City



KAMELA AREA



Total no of Houses Proposed 48 Du's

- Index:
- Proposed Houses
 - Pucca Houses
 - Community Area
 - Park Area
 - Road Area

Pucca Houses	45
Semi Pucca Houses	48
Kuccha Houses	0
Total No of Houses	93

LAYOUT DRAWING OF KAMELA AREA

Note : Minimum set back in between two houses whether existing or proposed will be as per the Municipal Bye laws or min set back of 3'0" (1.00 M) will be maintained

PROPOSED HOUSES : 48				LAND USE ANALYSIS :		
TYPE OF HOUSE	AREA	NOR	TOTAL AREA	TOTAL SITE AREA	COV. %	COV. USE
INDIVID HOUSE	30.30 sqm	48	1455.72 sqm	1214.00 sqm	83.46	79.91
				ROAD AREA	100.79 sqm	8.46
				COMMUNITY AREA	245.03 sqm	1.71
				Park Area	1200.25 sqm	8.39
TOTAL PLOT COVERED AREA 1455.72 SQM				TOTAL AREA	1214.00 sqm	79.91

- NOTES**
- DO NOT SCALE THE DRAWING
 - DRAWING SHOULD BE READ NOT MEASURED
 - ALL DIMENSIONS ARE IN METERS
 - CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 - ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER



ASST. EXECUTIVE ENGINEER,
KSRP

EXECUTIVE ENGINEER,
KSRP

TECHNICAL DIRECTOR,
KNO, CENTRAL OFFICE,
BANGALORE

CORPORATIONER,
KSRP,
BANGALORE

CLIENT
**PMAY-HFA
KARNATAKA SLUM
DEVELOPMENT BOARD**

CONSULTANTS -
Sankrish Consulting
Consulting Engineers and Architects
B-17/2, 4th Fl., 1st Stage,
Maddurahally
Bangalore - 560036
ph: 080-32 063495, 5010822207

PROJECT TITLE
**LAYOUT SHOWING THE
PROPOSED HOUSING UNDER
PRADHAN MANTRI AWAAS
Yोजना-HOUSING FOR ALL AT
KAMELA NAGAR IN
BELLARY CITY**

DRG NO:	GAYATRI	SCALE:
DESIGNED BY:	RAVIREDDY	D.T.S.
APPROVED BY:	PRAYAS	DATE:
		14-05-16

02. RAICHUR CITY

CITY AREA IN SQ KM	60 SQ Km
POPULATION AS PER 2011 CENSUS	2,34,073
NO OF SLUMS	44
NO OF NOTIFIED SLUMS	36
NO OF NON- NOTIFIED SLUMS	08
SLUM POPULATION	88550
NO OF HOUSE HOLDS IN SLUMS	22138
PERCENTAGE OF SLUM POPULATION	32%

DPR Findings

Construction of 1050 and infrastructure at 5 selected slums under Affordable Housing in Partnership component (7B) in Raichur City of HFA by dovetailing with Vajapayee Urban Housing Scheme and Dr. B. R. Ambedkar Nivas Yojana.

Sl. No.	Name of the Slum	Area of Extent (in Acres-Guntas)	Ownership of Land	No of HH's	Type of Construction	No. of DUs Proposed under HFA	Mode of development proposed
1	Sukani Colony	2-00	Govt.	320	GF	100	In-situ development
2	Siatalab	90-00	CMC	492	GF	350	In-situ development
3	Chandrabanda Layout	13-00	Govt.	2500	GF	250	In-situ development
4	Harijanwada	9-25	Govt.	250	GF	150	In-situ development
5	Neerbhavikunta (Jalalnagar)	10-00	Govt.	950	GF	200	In-situ development
	Total			4512		1050	32

SI No.	Name of the slums	In-situ Development
1	5 Selected slums of Raichur City	In view of unhygienic condition, vulnerable nature , housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 5 Selected slums of RAICHUR City on the need basis.

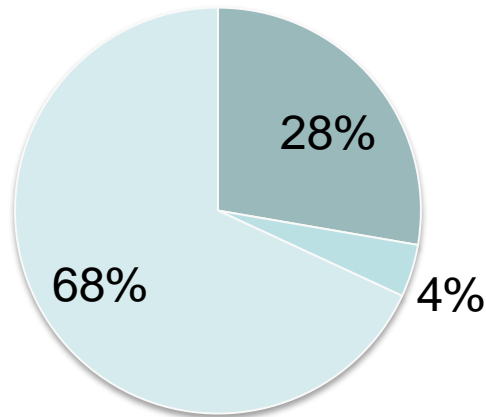
Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
- **KITCHEN - CUDAPPA SINK AND PLATFORM**
- **DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS**
- **TOILETS - PVC**
- **WINDOWS & VENTILATORS – M.S. STEEL**
- **PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER**
- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

Details of Beneficiaries

Identified			DUs proposed(HFA)				
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
291	44	715	1050	291	44	715	1050

■ SC ■ ST ■ Others



**“Construction of 1050 and infrastructure at 5 selected slums under Affordable Housing in Partnership component (7B) in Raichur City”
Under HFA-PMAY
Funding Arrangement**

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	1575.00	1461.00	282.44	670.70	3989.14
Infrastructure	-		476.67	0	476.67
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)		223.29	-	0	223.29
Total	1575.00	1684.29	759.11	670.70	4689.1

Beneficiary Contribution per Family = SC/ST Rs. 0.38 & Others Rs. 0.76 Lakhs

Housing to Infrastructure Ratio = 89:11

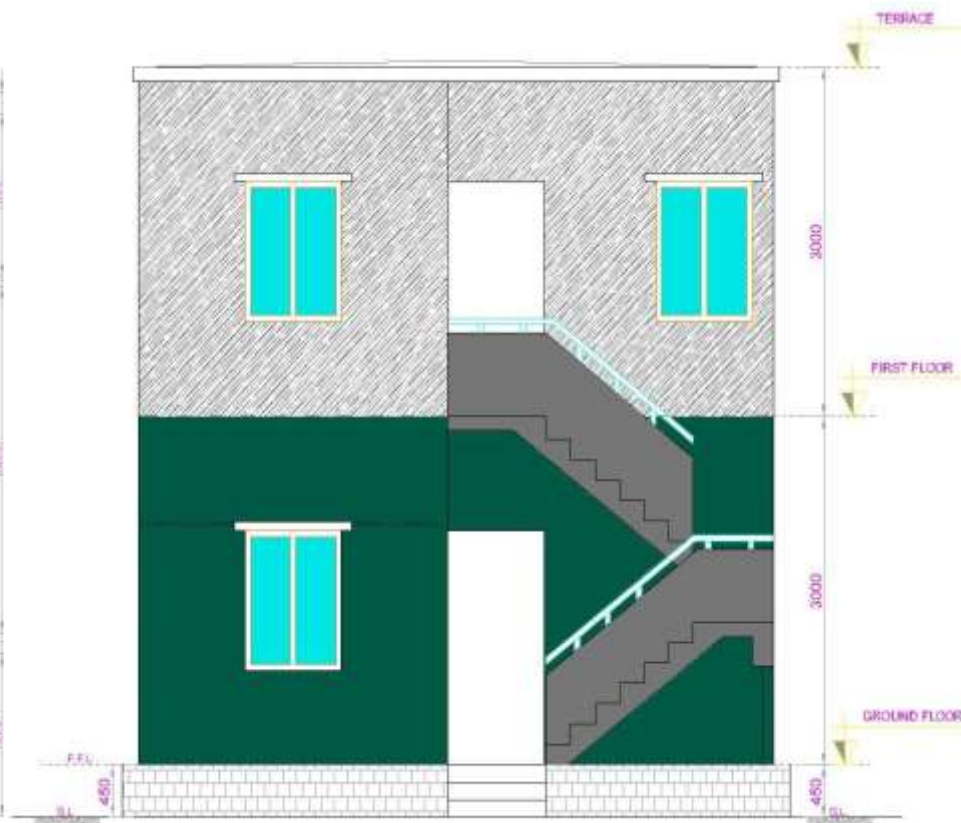
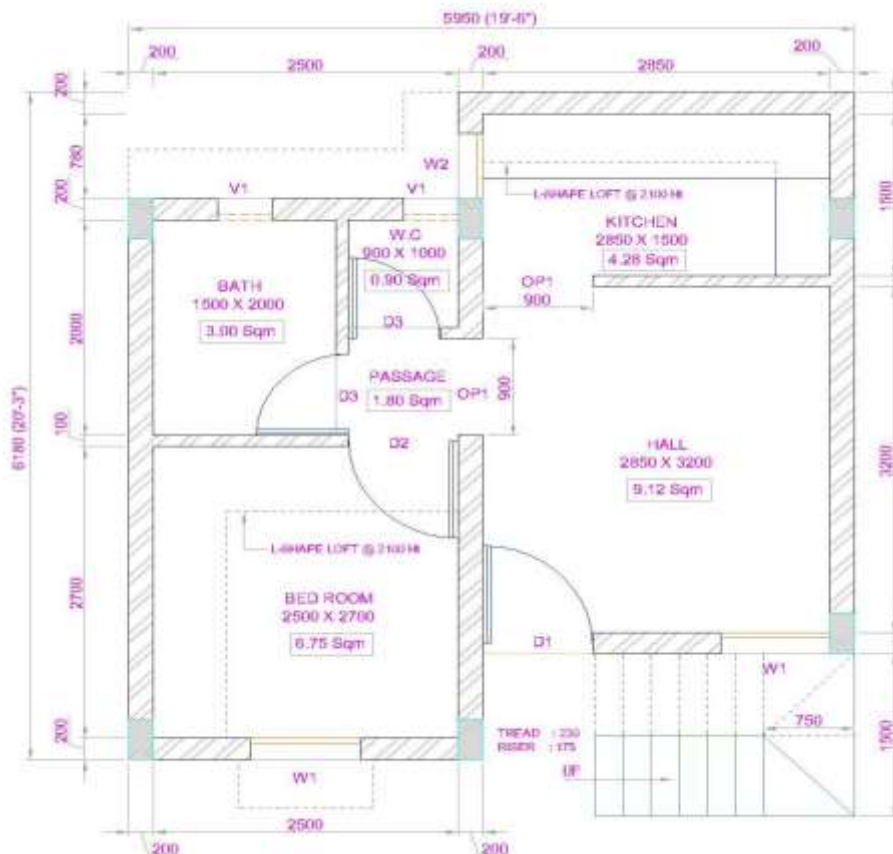
Cost per Du : Rs. 3.80 Lakhs

Cost of infra per Du : Rs. 0.45 Lakhs

Cost per Sqft. : Rs. 1356/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.4689.10 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL

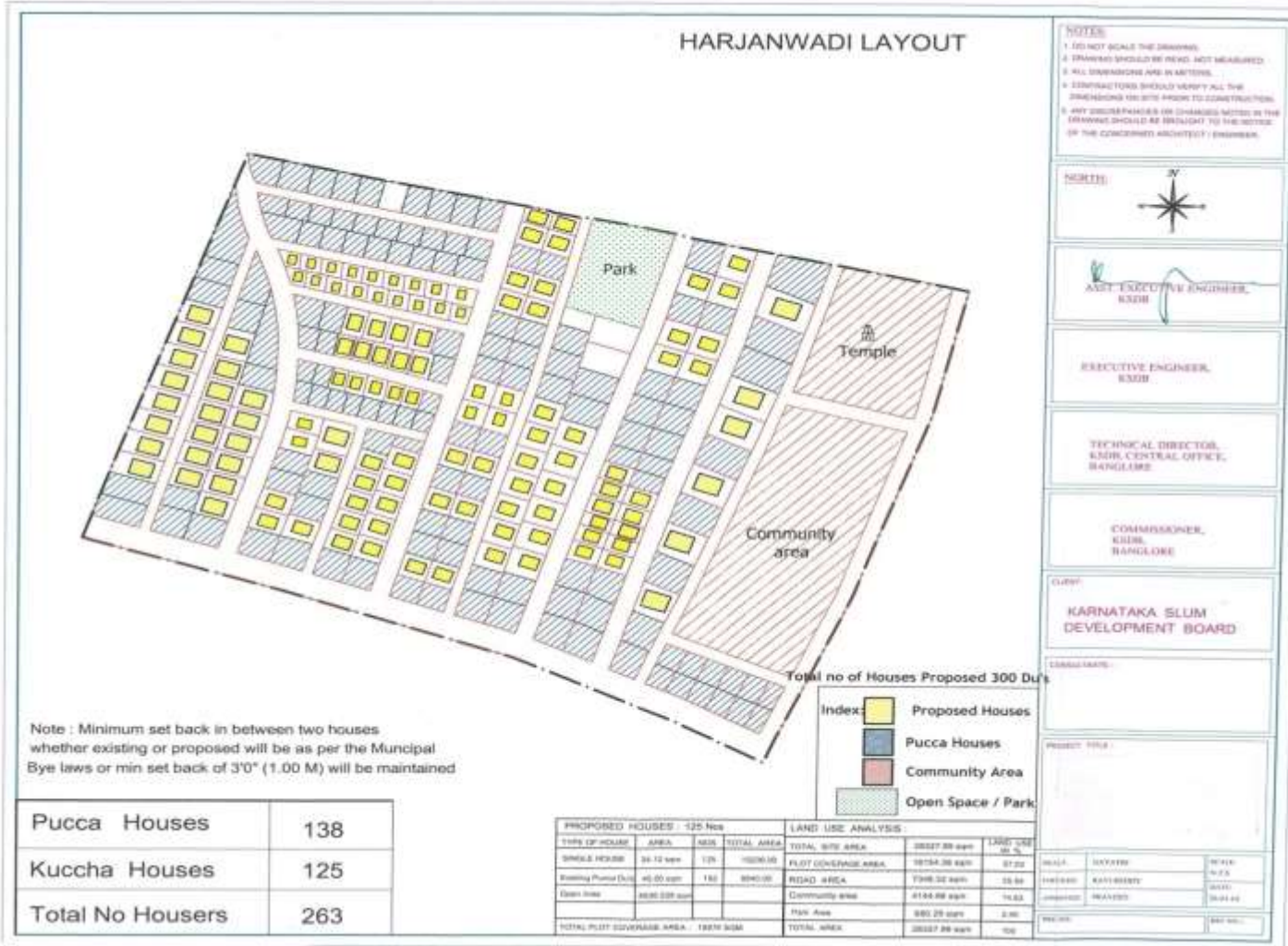


Carpet area : 27 Sqm

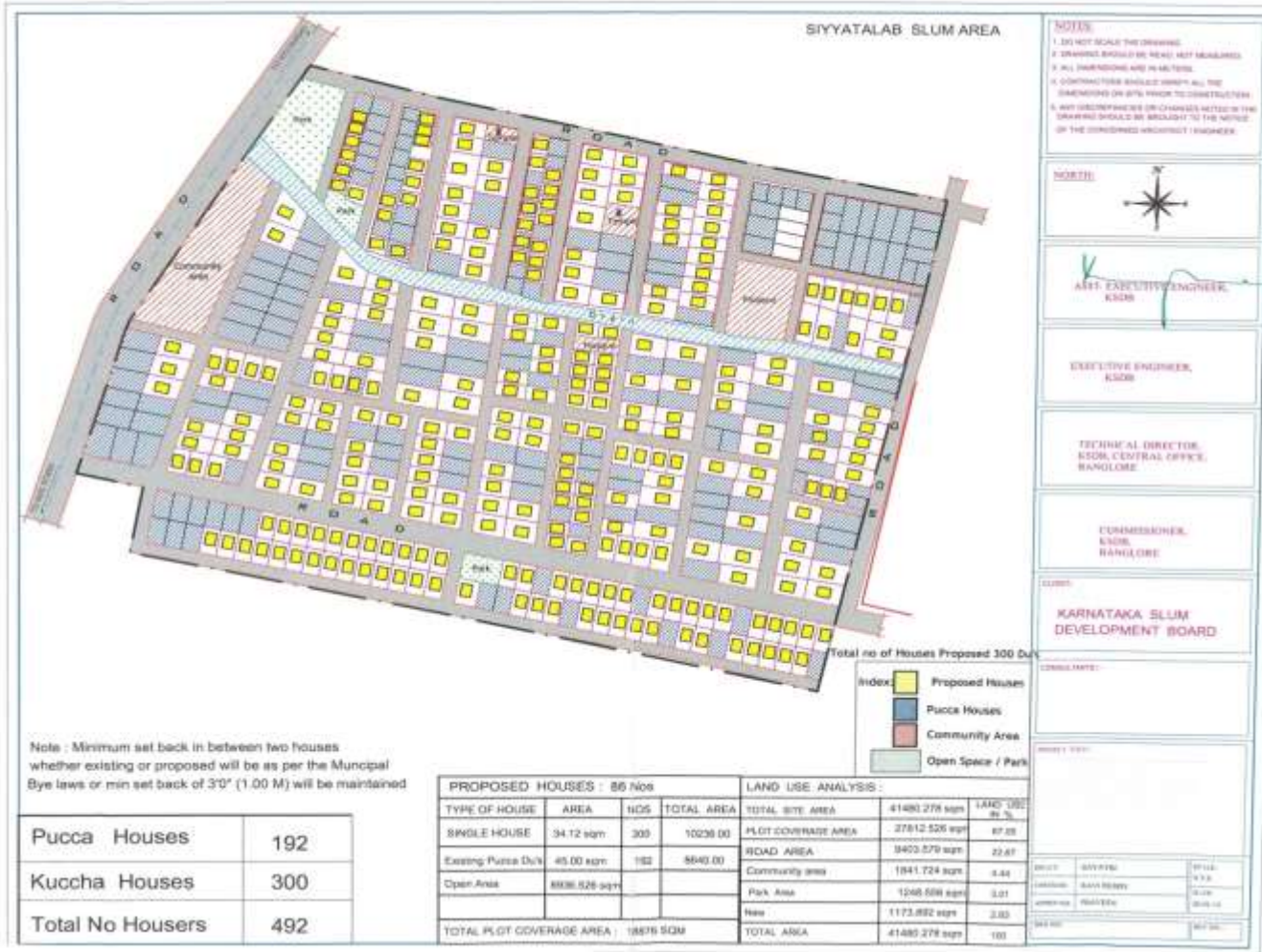
Built up area : 34.12 Sqm (367 Sqft.)

Hall	=	9.86 Sqm
Bedroom	=	7.25 Sqm
Kitchen	=	5.22 Sqm
Bath	=	3.00 Sqm
WC	=	0.90 Sqm
Passage	=	0.77 Sqm
Total Carpet Area	=	27.00 Sqm

HARIJANWADA SLUM IN RAICHUR CITY



SIYATALAB SLUM IN RAICHUR CITY



Scenario of existing slums of Raichur city



Chandrabanda Layout Slum

**Sukhani Clony
Slum**



Scenario of existing slums of Raichur city



Harijanwada Slum

Siatalab Slum



03. BAGALKOT CITY

CITY AREA IN SQ KM	48.25 Sq.Km
POPULATION AS PER 2011 CENSUS	1,12,068
NO OF SLUMS	23
NO OF NOTIFIED SLUMS	11
NO OF NON- NOTIFIED SLUMS	12
SLUM POPULATION	14,633
NO OF HOUSE HOLDS IN SLUMS	3,043
PERCENTAGE OF SLUM POPULATION	13.05%

DPR Findings

Construction of 784 In-situe houses & Infrastructure at 03 selected slums in Bagalkot City under Affordable Housing in Partnership vertical of HFA by dovetailing with Vajapayee Urban Housing Scheme and Dr. B. R. Ambedkar Nivas Yojana.

Sl. No.	Name of the Slum	Area of Extent (in Sq.mtrs)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under HFA	Mode of development proposed
1	Durga Vihar	24928.73	CMC	289	GF	44	In-situ development
2	RCC Water Tank	20639.05	CMC	689	GF	262	In-situ development
3	Ex Settlnent Opp: Hescom	9145.93	CMC	435	GF	60	In-situ development
	Ex-Settlnent Opp: Vasavi Teater	41278.10	CMC	225	GF	331	In-situ development
	Ex-Settlnent Opp: Canara Bank	13354.68	CMC	320	GF	87	In-situ development
	Total			1958		784	

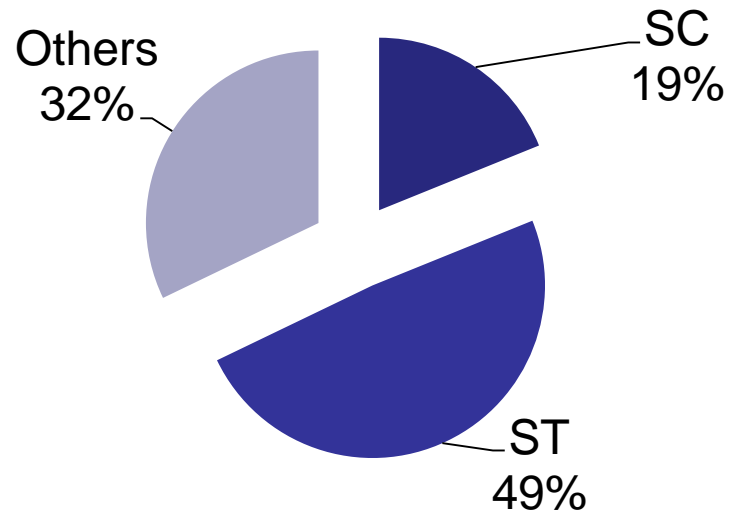
SI No.	Name of the slums	In-situ Development
1	3 Selected slums of Bagalkot City	In view of unhygienic condition, vulnerable nature , housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 3 Selected slums of Bagalkot City on the need basis.

Specifications Parameters – Dwelling Unit

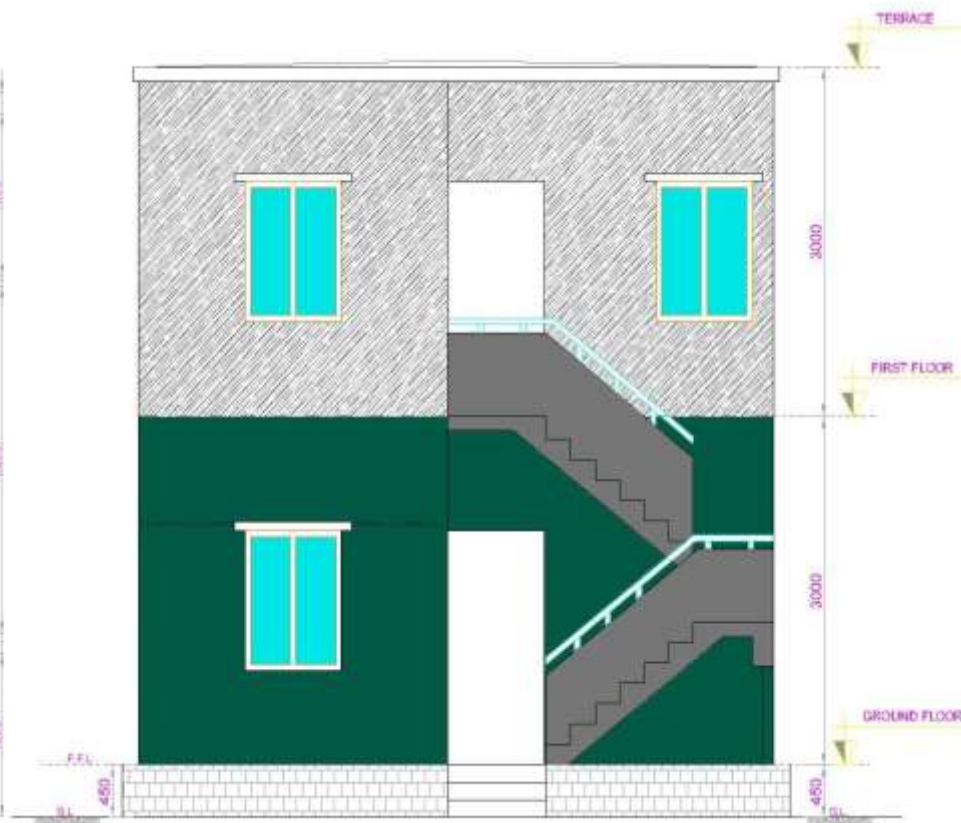
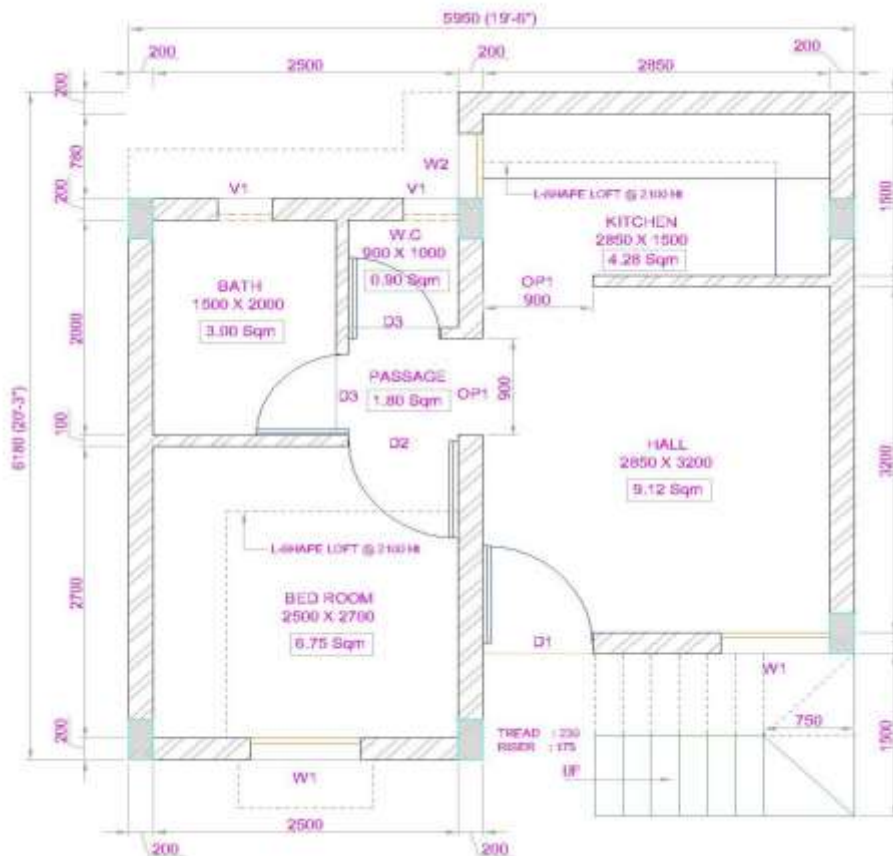
- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
- **KITCHEN - CUDAPPA SINK AND PLATFORM**
- **DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS**
- **TOILETS - PVC**
- **WINDOWS & VENTILATORS – M.S. STEEL**
- **PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER**
- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

Details of Beneficiaries

Identified			DUs proposed(HFA)				
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
148	384	252	784	148	384	252	784



PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall = 9.86 Sqm

Bedroom = 7.25 Sqm

Kitchen = 5.22 Sqm

Bath = 3.00 Sqm

WC = 0.90 Sqm

Passage = 0.77 Sqm

Total Carpet Area = 27.00 Sqm

Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
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- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

BAGALKOT - PROPOSED 784 Du's (GF) AT 3 SLUMS Funding Arrangement

Component	Central Share in Lakhs (75%)	State Share in Lakhs (15%)	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%)	Total Project Cost
Housing	1176	1367.4	219.41	338.51	3101.32
Infrastructure	-	-	-	-	-
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	155.07	-	-	155.07
Total	1176	1522.47	219.41	338.51	3256.39

Beneficiary Contribution per Family = SC/ST Rs. 0.395, Others Rs. 0.79 Lakhs
Housing to Infrastructure Ratio = 100:00
Cost per Du : Rs. 3.95 Lakhs
Cost per Sqft. : Rs. 1362/-

**APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.3256.39 LAKHS IS
REQUESTED.**

Layout Plan of Durga Vihar Slum, Bagalkot

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

- NOTES**
- DO NOT SCALE THE DRAWING
 - DRAWING SHOULD BE READ NOT MEASURED
 - ALL DIMENSIONS ARE IN METERS
 - CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 - ANY DISCREPANCY FOR CHANGES NOTED BY THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER



ASST. EXECUTIVE ENGINEER,
KSDR

EXECUTIVE ENGINEER,
KSDR

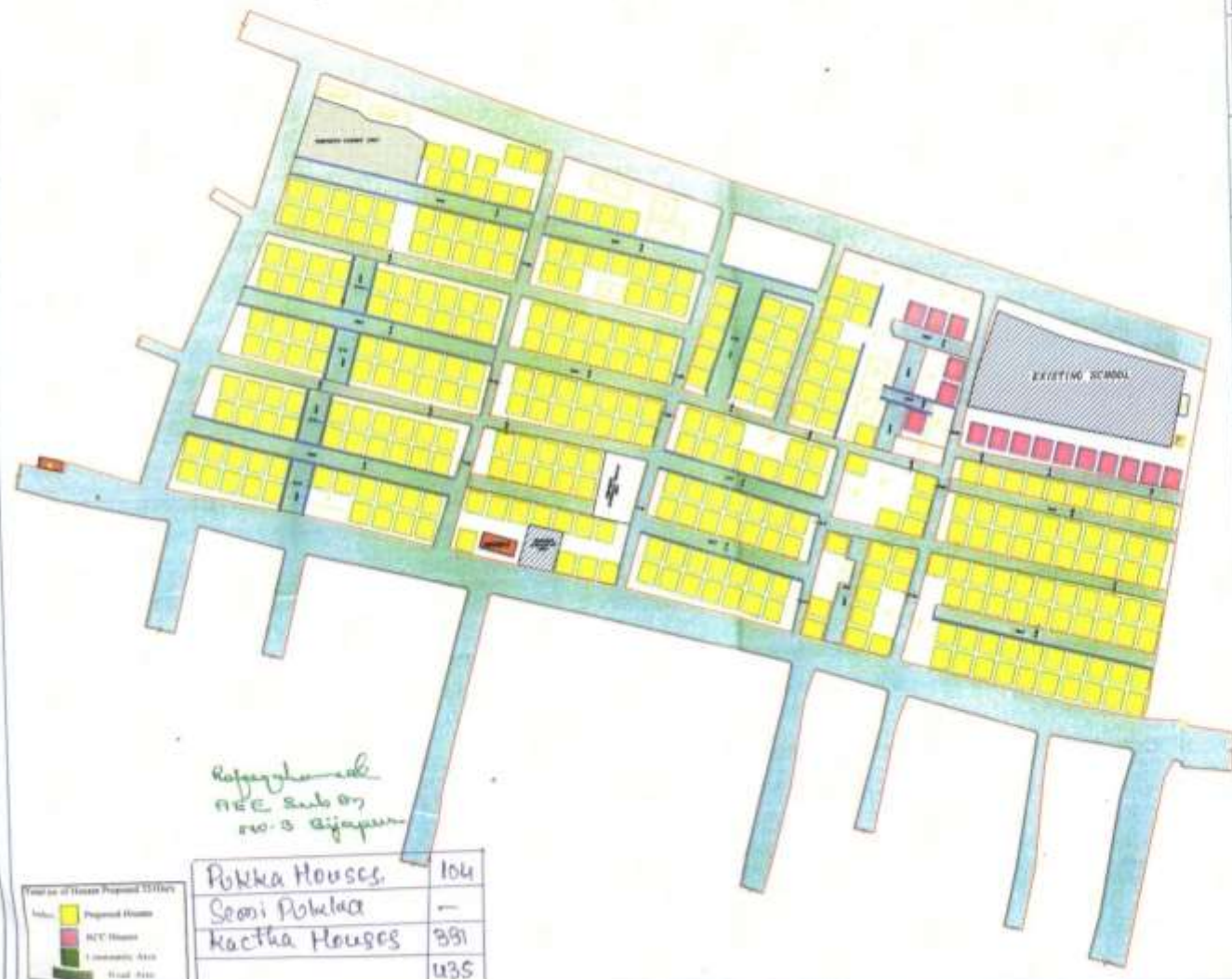
TECHNICAL DIRECTOR,
KSDR, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KSDR,
BANGLORE

PMAY
KARNATAKA SLUM
DEVELOPMENT BOARD

LOCATION OPPOSITE VADARI THEATRE
IN SETTLEMENT AREA AT BAGALKOT CITY

SCALE	1:1000	DATE	10/11/2018
DRAWN BY	RAJESH K	CHECKED BY	RAJESH K
APPROVED BY	DEEPTHI SHARMA	DATE	10/11/2018



Rajesh K
AEE, Sub Dy
no-3 Bijapur

Legend of House Proposed Colors

Yellow	Proposed Houses
Red	NCT House
Green	Community Area
Blue	Road Area

Pukka Houses	104
Seoni Pukka	—
Kaccha Houses	881
Total	985

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

Layout Plan of RCC WATER TANK Slum, Bagalkot

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

Proposed Houses=262 units

HOUSING DETAILS	
DESCRIPTION OF HOUSES	NOS
PUCCA HOUSES	123
SEMI-PUCCA HOUSES	-
KATCHA HOUSES	86
TOTAL NO HOUSE	209
PROPOSED GARDEN COMPOUND WALL PROPOSED SAMUDAYA BHAVAN PROPOSED ANGAWADI	



PROPOSED HOUSES : 177			
TYPE OF HOUSE	AREA	NOS	TOTAL AREA
SINGLE HOUSE		262	8036.24 sqm
Pucca Houses			5437.80 sqm
OPEN Space			3898.40 sqm
TOTAL PLOT COVERAGE AREA : 15736.43 SQM			
LAND USE ANALYSIS :			
TOTAL SITE AREA	26304.36 sqm		LAND USE IN %
PLOT COVERAGE AREA	15465.44 sqm		58.75
ROAD AREA	9036.78 sqm		34.33
COMMUNITY & SCHOOL AREA	1204.14 sqm		4.58
TOTAL AREA	26304.36 sqm		100

Rajagopala
 Assistant Executive Engineer,
 Karnataka Slum Development Board,
 Sub Division No.3, Vijayapur-888107.

- NOTE:
1. DO NOT SCALE THE DRAWING.
 2. DIMENSIONS SHOULD BE READ AS NOTED.
 3. ALL DIMENSIONS ARE IN METERS.
 4. CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
 5. ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER.



ASST. EXECUTIVE ENGINEER,
 KSDB BIALPUR.

EXECUTIVE ENGINEER,
 KSDB BELGAUM.

TECHNICAL DIRECTOR,
 KSDB, CENTRAL OFFICE,
 BANGLORE.

COMMISSIONER,
 KSDB,
 BANGLORE.

CURRY:
 PMAY (Pradhanmantri Awas Yojana)
 KARNATAKA SLUM
 DEVELOPMENT BOARD

PROJECT TITLE
 LAYOUT SHOWING THE
 EXISTING AND PROPOSED HOUSES
 (RCC WATER TANK)
 IN BAGALKOT CITY

SCALE:	1:500	DRAWN BY:	W.T.S.
CHECKED BY:	SAITISH	DATE:	
APPROVED BY:	LAXMAN		
DATE:	01-01-20	SCALE:	80

RCC WATER TANK SLUM LAYOUT OF HOUSING LOCATION IN SITU

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

Layout Plan of Ex-Settlement Opp: Vasavi Teater Slum, Bagalkot

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

LOCATION: OPPOSITE TO DURGAVIHAAR
NEAR MOSQUE - BAGALKOT

Pukka Houses.	315
Semi Pukka.	-
Kachha Houses	111
Total.	369



Rajesh Kumar
Assistant Executive Engineer,
Karnataka Slum Development Board,
Sub Division No.3, Vijayapur-586101.

Total no of Houses Proposed 44 Du's

Legend	Proposed Houses
	Pukka House
	Community Area
	Road Area

PROPOSED HOUSES : 44			
TYPE OF HOUSE	AREA	NO.	TOTAL AREA
SINGLE HOUSE	34.12 sqm	44	1501.28 sqm
Pukka Houses			2923.33 sqm
OPEN Space			6266.60 sqm
TOTAL PLOT COVERAGE AREA : 12711.80 SQM			
LAND USE ANALYSIS :			
TOTAL SITE AREA	21245.83 sqm	LAND USE IN %	
PLOT COVERAGE AREA	12711.80 sqm	59.832	
ROAD AREA	5091.90 sqm	23.967	
COMMUNITY AREA	442.126 sqm	2.081	
TOTAL AREA	21245.83 sqm	100	

- NOTES:
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 - ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER.



ASST. EXECUTIVE ENGINEER,
KSDB

EXECUTIVE ENGINEER,
KSDB

TECHNICAL DIRECTOR,
KSDB, CENTRAL OFFICE,
BANGLORE

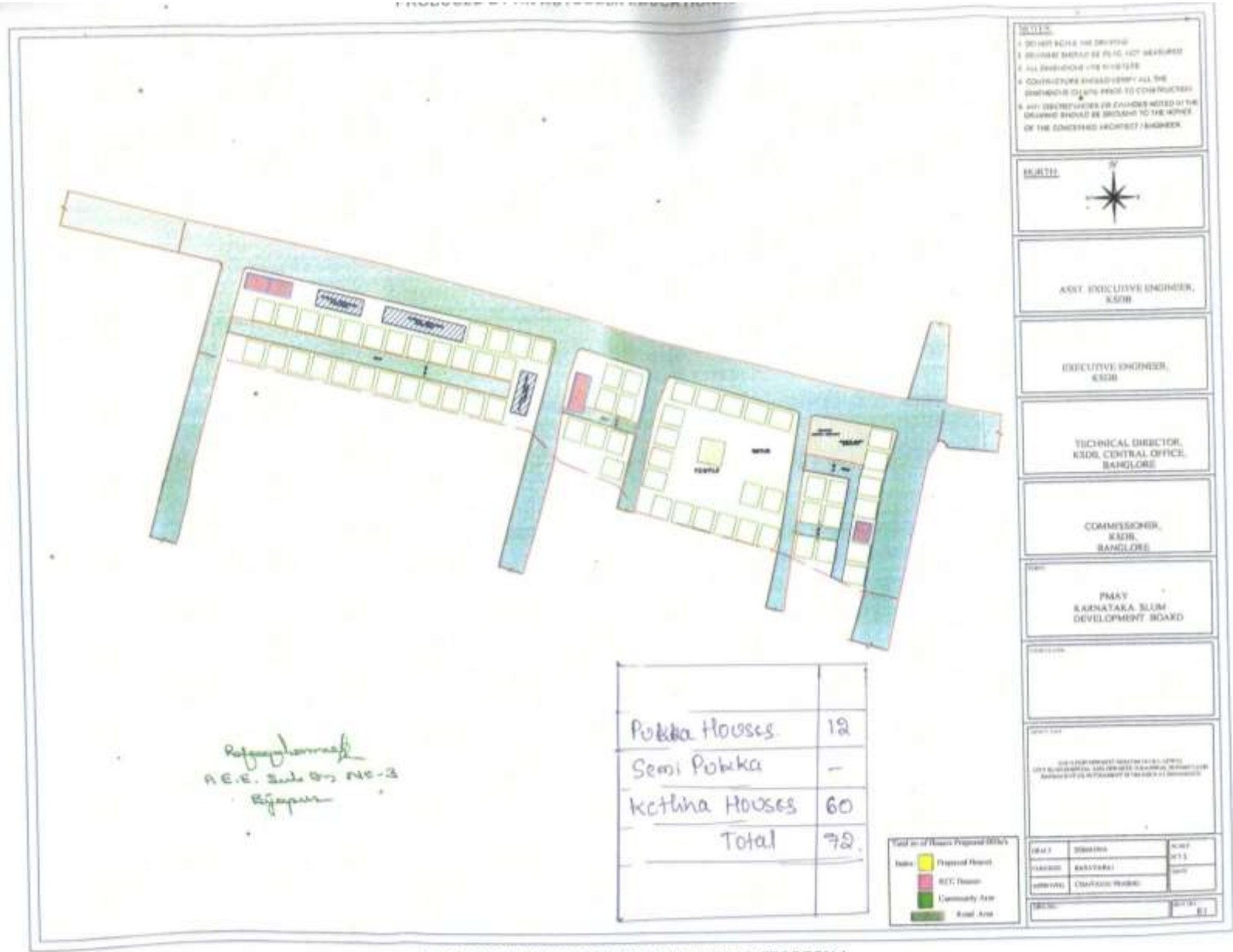
COMMISSIONER,
KSDB,
BANGLORE

CLIENT:
PMAY (Pradhanmantri Awas Yojana)
KARNATAKA SLUM
DEVELOPMENT BOARD

PROJECT TITLE:
ZONING PLAN OF THE
PROPOSED HOUSING UNDER
RAJY A WAS YOJANA AT
DURGAVIHAAR SLUM, BAGALKOT

SCALE	1:100
DATE	10.01.14
PROJECT NO.	SKR/RAY/BAG/DJULY-01
REV. NO.	00

Layout Plan of Ex-Settlement Opp: Vasavi Teater Slum, Bagalkot



- NOTES**
- 1. DO NOT SCALE THE DRAWING
 - 2. DIMENSIONS SHOULD BE PLACED ON SEPARATE SHEETS
 - 3. ALL DIMENSIONS ARE IN METERS
 - 4. CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE BEFORE COMMENCING WORK
 - 5. ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE CONCERNED ARCHITECT / ENGINEER



ASST. EXECUTIVE ENGINEER,
KSCB

EXECUTIVE ENGINEER,
KSCB

TECHNICAL DIRECTOR,
KSCB, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KSCB,
BANGLORE

PRAY
KARNATAKA SLUM
DEVELOPMENT BOARD

ಪುನರ್ವಸತಿ
A.E.E. Sub. No. 110-3
Bijapur

Public Houses	12
Semi Public	-
Katcha Houses	60
Total	72

Legend of House Proposed Details

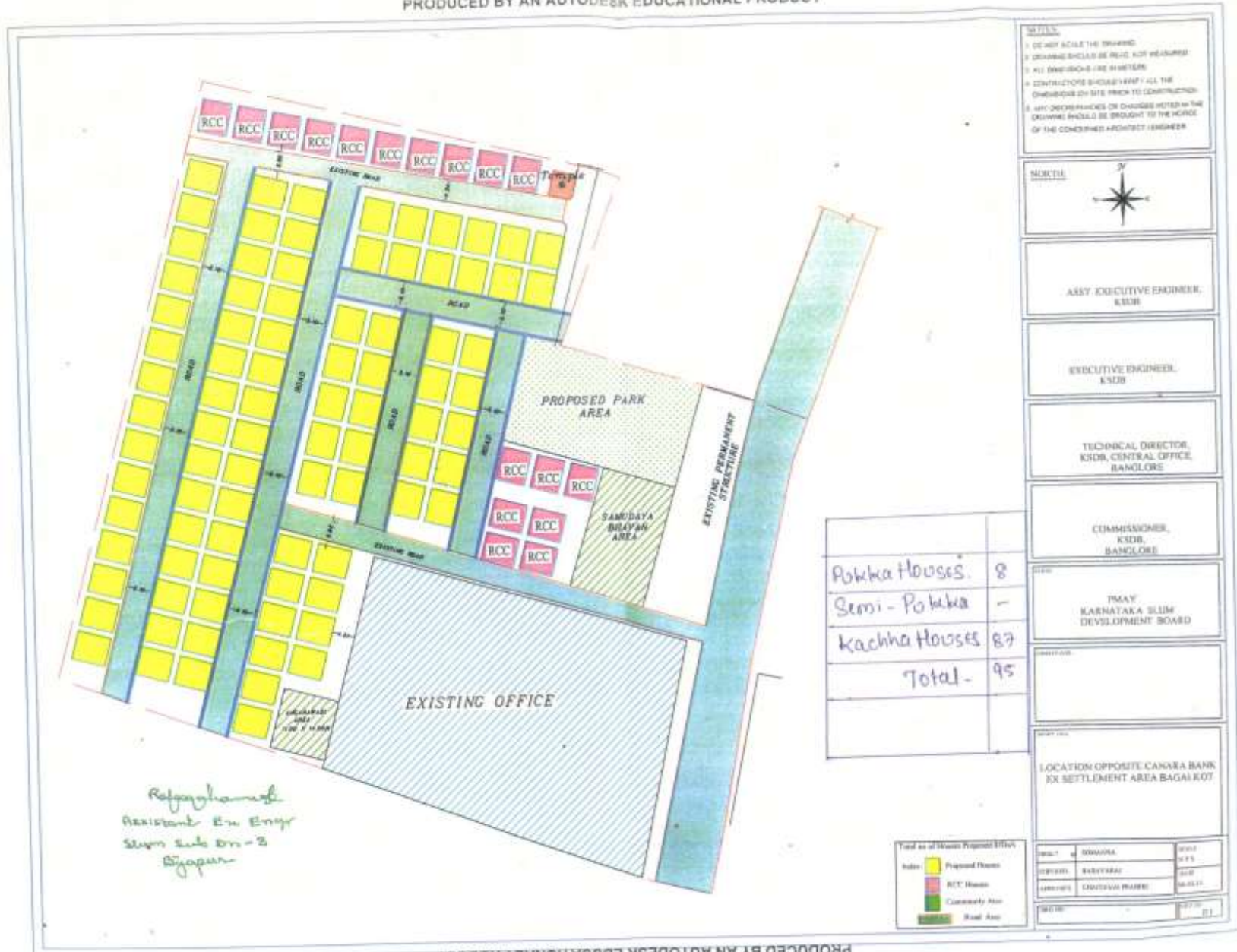
- Proposed House
- RCC House
- Community Area
- Road Area

FOR INFORMATION ONLY: THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT / ENGINEER.

DATE	20/01/2018	SHEET	01/1
SCALE	AS SHOWN	DATE	20/01/2018
PROJECT	CHAYANAHALL		
NO.			

Layout Plan of Ex-Settlement Opp: Canara Bank Slum, Bagalkot

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



- NOTES**
1. DO NOT SCALE THE DRAWING.
 2. DIMENSIONS SHOULD BE READ ACCORDING TO THE DRAWING.
 3. ALL DIMENSIONS ARE IN METERS.
 4. CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
 5. ANY DISCREPANCIES OR CHANGES BETWEEN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT/ENGINEER.



ASSY. EXECUTIVE ENGINEER,
KSRB

EXECUTIVE ENGINEER,
KSRB

TECHNICAL DIRECTOR,
KSRB, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KSRB,
BANGLORE

PMAY
KARNATAKA SLUM
DEVELOPMENT BOARD

Potika Houses	8
Semi - Potika	-
Kachha Houses	87
Total -	95

LOCATION OPPOSITE CANARA BANK
EX SETTLEMENT AREA BAGALKOT

Total no of Slums Proposed: 01

Index	Proposed Plots
	RCC Houses
	Community Area
	Road Area

SCALE	1:1000	DATE	01/01/2024
DESIGNED BY	Rajagopal	CHECKED BY	
APPROVED BY	CANARA BANK	DATE	01/01/2024
PROJECT NO.		SHEET NO.	01

Rajagopal
Assistant Ex Engineer
Slum Sub Div-3
Bijapur

EXISTING SLUMS OF BAGALKOT



DURGAVIHAR SLUM



RCC WATER TANK SLUM



EXSETTLEMENT AREA SLUM



04. VIJAYAPURA CITY

CITY AREA IN SQ KM	93.50 Sq.Km
POPULATION AS PER 2011 CENSUS	3,27,427
NO OF SLUMS	45
NO OF NOTIFIED SLUMS	45
NO OF NON- NOTIFIED SLUMS	0
SLUM POPULATION	44,432
NO OF HOUSE HOLDS IN SLUMS	8670
PERCENTAGE OF SLUM POPULATION	13.57%

DPR Findings

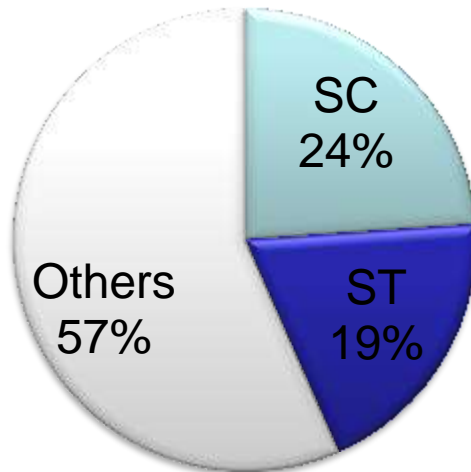
Construction of 1028 In-situ houses & Infrastructure at 06 selected slums in Vijaypur City under Affordable Housing in Partnership vertical of HFA by dovetailing with Vajapayee Urban Housing Scheme and Dr. B. R. Ambedkar Nivas Yojana.

Sl. No.	Name of the Slum	Area of Extent (in Sq.mtrs)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under HFA	Mode of development proposed
1	Pete Bavadi	17442.02	Board	380	GF	200	In-situ development
2	Kumbar Oni	5058.59	Govt	268	GF	110	In-situ development
3	Shikar Khana	4208.74	Board	105	GF	78	In-situ development
4	Shastri Nagar	4492.02	CMC	129	GF	80	In-situ development
5	Sy No. 1057/A	9307.80	Board	130	G+1	260	In-situ Re- development
6	Sy No. 110	12262.02	Board	150	G+1	300	In-situ Re- development
	Total			1162		1028	

SI No.	Name of the slums	In-situ Development
1	6 Selected slums of Vijaypur City	In view of unhygienic condition, vulnerable nature , housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 6 Selected slums of Vijaypur City on the need basis.

Details of Beneficiaries

Identified				DUs proposed(HFA)			
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
246	200	582	1028	246	200	582	1028



Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
- **KITCHEN - CUDAPPA SINK AND PLATFORM**
- **DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS**
- **TOILETS - PVC**
- **WINDOWS & VENTILATORS – M.S. STEEL**
- **PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER**
- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

VIJAYPUR - PROPOSED 1028 Du's (GF & G+1) AT 06 SLUMS Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	1542.00	1503.60	471.17	650.43	4167.2
Infrastructure			215.16		215.16
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)		219.12			219.12
Total	1542.00	1722.72	686.33	650.43	4601.48

Beneficiary Contribution per Family = SC/ST Rs. 0.405, Others Rs. 0.81 Lakhs

Housing to Infrastructure Ratio = 86:14

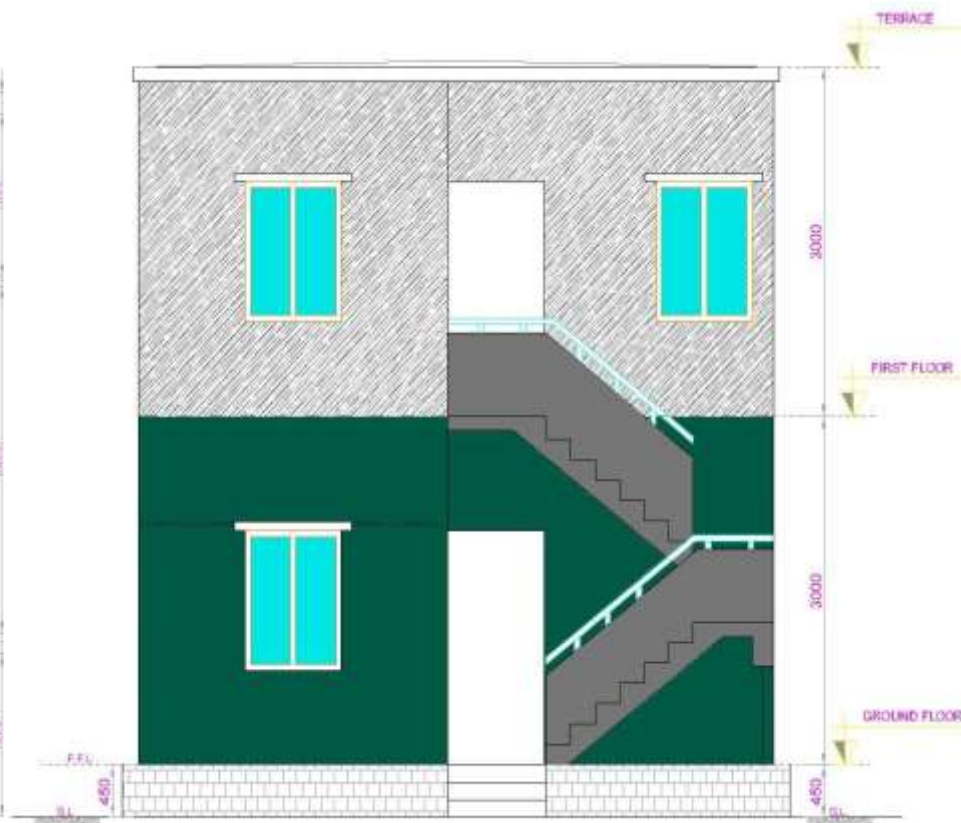
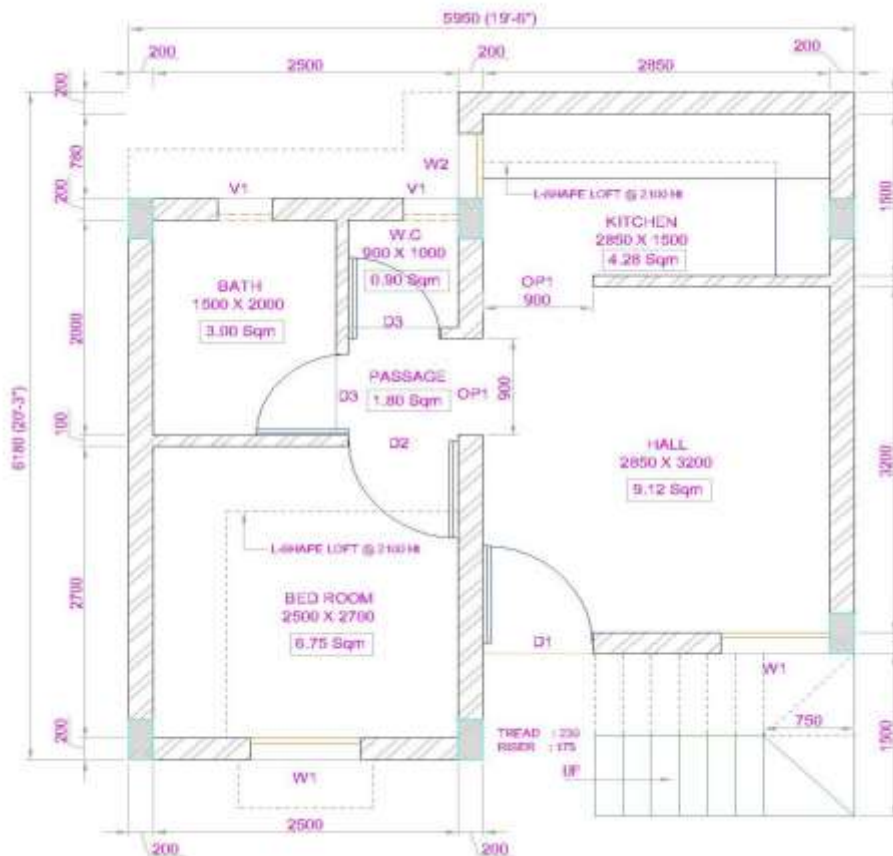
Cost per Du : Rs. 4.05 Lakhs

Cost of infra per Du : Rs. 0.20 Lakhs

Cost per Sqft. : Rs. 1396/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.4601.48 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall = 9.86 Sqm

Bedroom = 7.25 Sqm

Kitchen = 5.22 Sqm

Bath = 3.00 Sqm

WC = 0.90 Sqm

Passage = 0.77 Sqm

Total Carpet Area = 27.00 Sqm

Pete Bavadi Slum Layout Plan



Kumbara Oni Slum Layout Plan



PLEASE SCALE THE DRAWING.
DIMENSIONS SHOULD BE RECHECKED.
1. ALL DIMENSIONS ARE IN METERS.
2. CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
3. ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER.



ASST. EXECUTIVE ENGINEER,
KIDS VILAYPUR

EXECUTIVE ENGINEER,
KIDS BELGALUM

TECHNICAL DIRECTOR,
KIDS, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KIDS,
BANGLORE




CLERK
PMAY (Pradhanmantri Awas Yojana)
KARNATAKA SLUM
DEVELOPMENT BOARD

PROJECT TITLE:
LAYOUT SHOWING THE
EXISTING AND PROPOSED HOUSES
(KUMBARA ONI SLUM)
IN VILAYPUR CITY


SCALE:	DATE:	NO.:
DESIGNER:	SUPVISED:	DATE:
APPROVED:	DATE:	
SCALE:	DATE:	
BL-01		80

 Proposed Houses=110 units

KUMBAR ONI SLUM
LAYOUT OF HOUSING LOCATION IN SITU

HOUSING DETAILS	
DESCRIPTION OF HOUSES	NOS
 PUCCA HOUSES	145
 SEMI-PUCCA HOUSES	—
 KATCHA HOUSES	110
TOTAL NO HOUSE	855

[Signature]
Assistant Executive Engineer
Karnataka Slum Development Board,
Sub Division No.3, Vijayanpur-566101.

ILLUSTRATION	
BOUNDARY	

Shikar Khana Slum Layout Plan

Proposed Houses = 80 units

- NOTE**
1. DO NOT SCALE THE DRAWING.
 2. DRAWING SHOULD BE READ, NOT MEASURED.
 3. ALL DIMENSIONS ARE IN METERS.
 4. CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
 5. ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT/ENGINEER.



ASST. EXECUTIVE ENGINEER,
KSDB BANGALUR

EXECUTIVE ENGINEER,
KSDB BELGALUM

TECHNICAL DIRECTOR,
KSDB, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KSDB,
BANGLORE

CLIENT:
PMAY (Pradhan Mantri Awas Yojana)
**KARNATAKA SLUM
DEVELOPMENT BOARD**

PROJECT TITLE:
**LAYOUT SHOWING THE EXISTING
& PROPOSED HOUSES AT
Shikar Khana, Nagar 32 E, 11/2
IN VIJAYAPUR CITY**

HOUSING DETAILS

DESCRIPTION OF HOUSES	NO.
PUCCA HOUSES	157
SEMI-PUCCA HOUSES	-
KATCHA HOUSES	80
TOTAL NO HOUSE	237

ILLUSTRATION

MAIN ROAD	
BOUNDARY	

PROPOSED HOUSES IN

TYPE OF HOUSE	AREA	NO.	TOTAL AREA
SHED HOUSE	46.11 sqm	02	922.22sqm
Pucca House			1022.22sqm
UPPER Store			187.77sqm

TOTAL PLOT COVERAGE AREA		184.11 sqm
LAND USE ANALYSIS		
TOTAL SITE AREA	4100.75 sqm	1.0000
PLANT COVERAGE AREA	184.11 sqm	0.0449
ROAD AREA	1000.00 sqm	0.2438

SCALE	1:500	DATE	05.12
DESIGNER	SAJJITHA	CHECKER	SAJJITHA
APPROVED	LAKSHMI		
DATE	05.12		

(Signature)
Asst. Executive Engineer
Karnataka Slum Development Board,
Sub Division No.3, Vijayapur-590101.

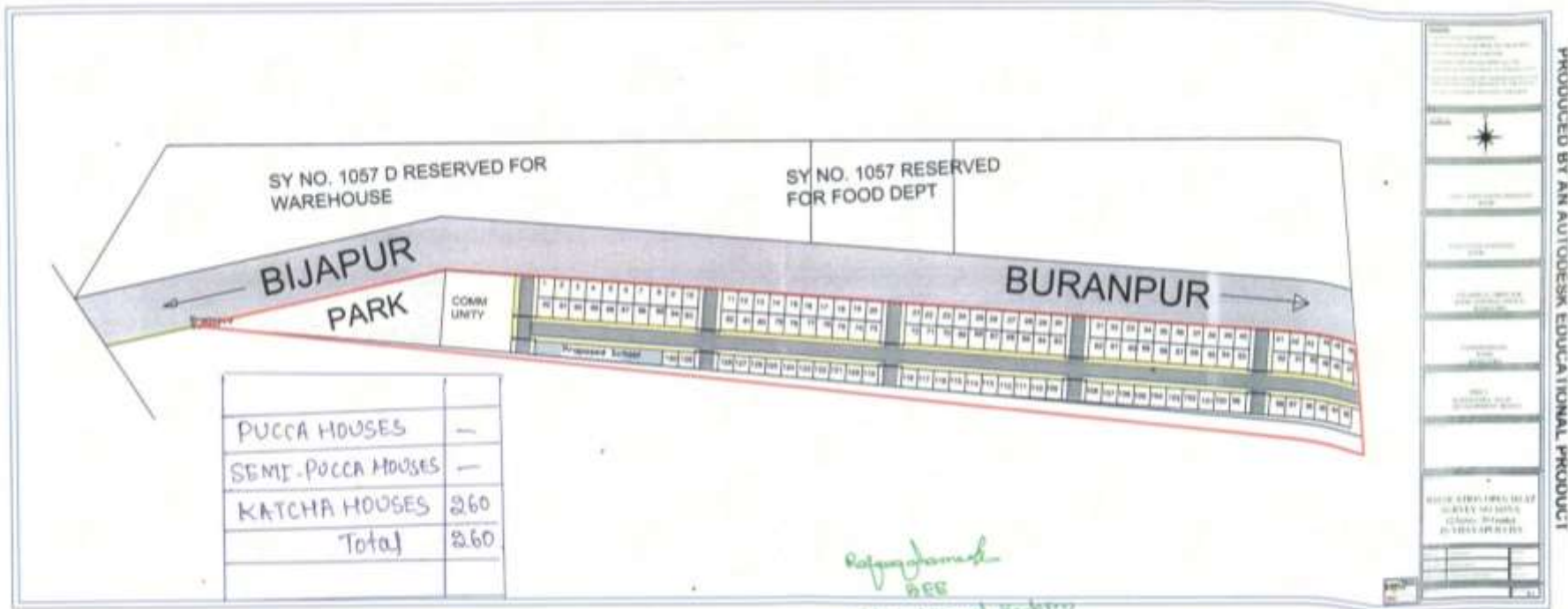
SHASTRI NAGAR SLUM LAYOUT OF HOUSING LOCATION IN SITU

Shastri nagar Slum Layout Plan

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



Sy. No. 1057/A Slum Layout Plan



Sy. No. 110 Slum Layout Plan

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



- NOTES.**
- DO NOT SCALE THE DRAWING.
 - DRAWING SHOULD BE READ NOT MEASURED.
 - ALL DIMENSIONS ARE IN METERS.
 - CONTRACTORS SHOULD VERIFY ALL THE DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
 - ANY DISCREPANCIES OR CHANGES NOTED IN THE DRAWING SHOULD BE BROUGHT TO THE NOTICE OF THE CONCERNED ARCHITECT / ENGINEER.



ASST. EXECUTIVE ENGINEER,
KSDB

EXECUTIVE ENGINEER,
KSDB

TECHNICAL DIRECTOR,
KSDB, CENTRAL OFFICE,
BANGLORE

COMMISSIONER,
KSDR,
BANGLORE

PMAY
KARNATAKA SLUM
DEVELOPMENT BOARD

POCCA HOUSES	—
SEMI-POCCA HOUSES	—
KATCHA HOUSES	300
Total	300

Rajagopalash
Nash. Enr. Engr
2 B. Sub. No 110-1
Bijapur

RELOCATION OPEN TO AT
SURVEY NO:110
(3Acres- 3 Gunte)
IN VIJAYAPUR CITY

Total no of Houses Proposed 150 (5+1) Du's

Legend:

- Proposed Roads
- Proposed Asphalt Road
- DDMM & TCEI (DDMM)
- Proposed Water Supply
- DDMM

DRWN	JERAVVA	SCALE
CHKD	BALYARAJ	N.T.S
APPD	CHAITANYA PRABHU	DATE
		06.05.14
DATE		
		BL

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

EXISTING SCENARIO OF VIJAYPURA SLUMS



Petebavadi & Kumbaroni Slums



Shikar Khanna & Shastrinagar Slums

05. CHIKKABALLAPUR CITY

CITY AREA IN SQ KM	18.20 Sq.Km
POPULATION AS PER 2011 CENSUS	95,167
NO OF SLUMS	08
NO OF NOTIFIED SLUMS	06
NO OF NON- NOTIFIED SLUMS	02
SLUM POPULATION	6914
NO OF HOUSE HOLDS IN SLUMS	1220
PERCENTAGE OF SLUM POPULATION	13.76%

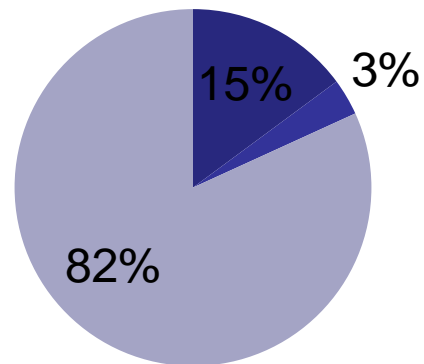
DPR Findings**IN-SITU DEVELOPMENT AT 3 SELECTED SLUMS IN CHIKKABALLAUR TOWN UNDER HFA****CHIKKABALLAPUR TOWN - Housing for 242 Du's (GF) at 3 selected slums**

Sl. No.	Name of the Slum	Area of Extent (in Acres- Guntas)	Ownership of Land	No of HH's	Type of Construc tion	No. of DUs Proposed under HFA	Mode of development proposed
1	Darga Mouhalla	4.02	ULB	227	GF	83	In-situ development
2	Nakkalakunte	7.02	ULB	160	GF	136	In-situ development
3	Badavara sangha	3.34	ULB	150	GF	23	In-situ development
	Total			537		242	

Details of Beneficiaries

Identified				DUs proposed (HFA)			
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
36	8	198	242	36	8	198	242

■ SC ■ ST ■ Others



Specifications Parameters – Dwelling Units

- SUB – STRUCTURE – CRS MASONARY (SSM) FOUNDATION
- SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY
- FLOORING & SKIRTING - RED –OXIDE
- KITCHEN - CUDAPPA SINK AND PLATFORM
- DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS
- TOILETS - PVC
- WINDOWS & VENTILATORS – M.S. STEEL
- PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER
- EXTERNAL WALLS : WATER PROOF CEMENT
- WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL
- ELECTRICAL SYSTEM - - INTERNAL & EXTERNAL

Chikkaballapura City 242 DUs – HFA Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost in Lakhs
Housing	363.00	316.80	70.62	166.75	917.17
Infrastructure	-	-	166.92	-	166.92
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	54.20	-	-	54.20
Total	363.00	371.00	237.54	166.75	1138.29

Beneficiary Contribution per Family = SC/ST Rs 0.379, Others Rs. 0.758 Lakhs

Housing to Infrastructure Ratio = 82:18

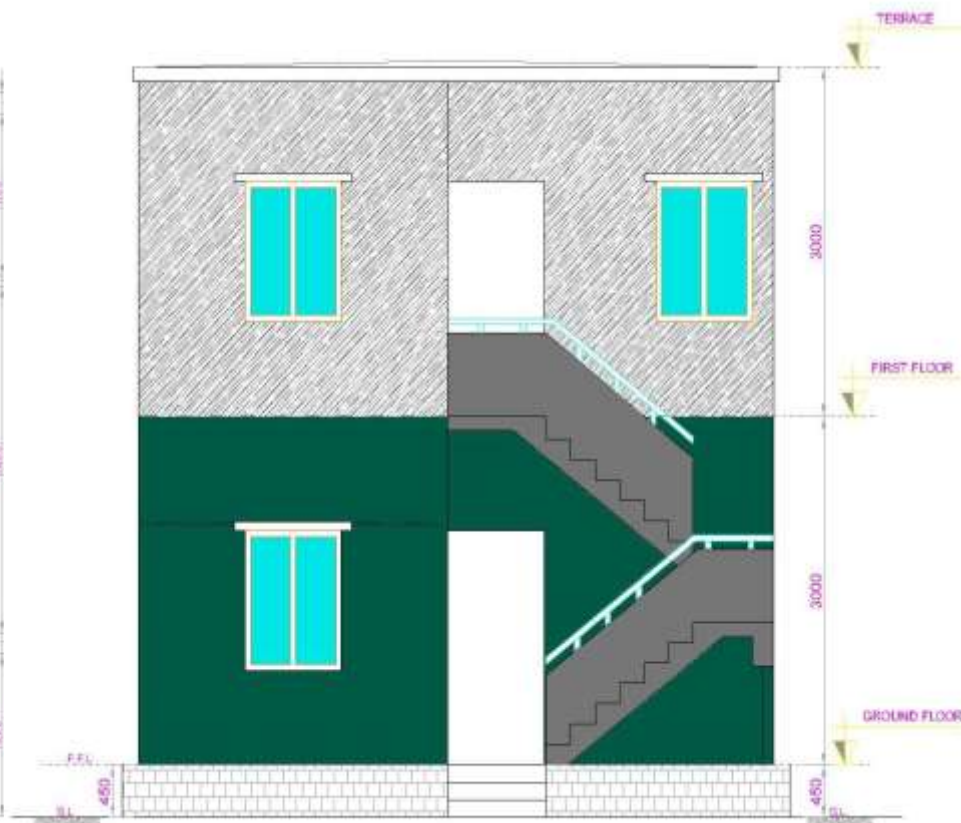
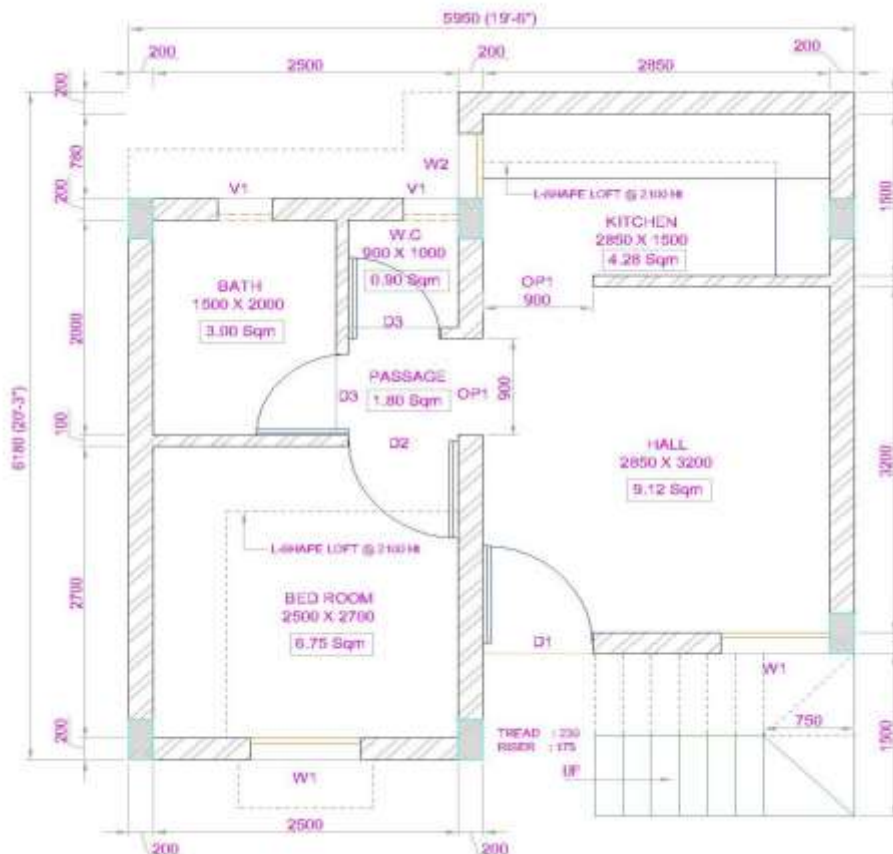
Cost per DU : Rs. 3.79 Lakhs

Cost of infra per DU : Rs. 0.68 Lakhs

Cost per Sqft. : Rs. 1306/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.1138.29 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL

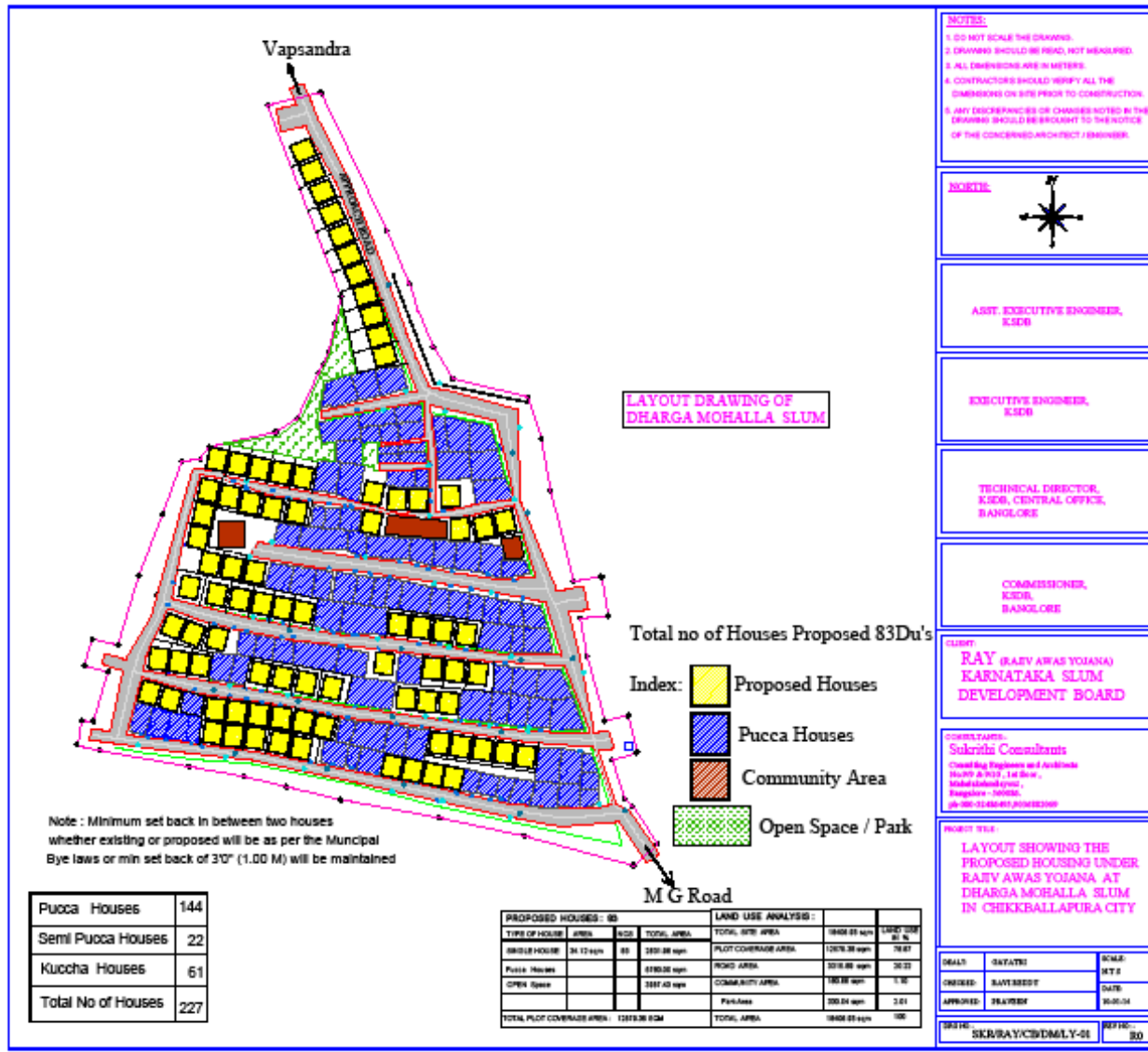


Carpet area : 27 Sqm

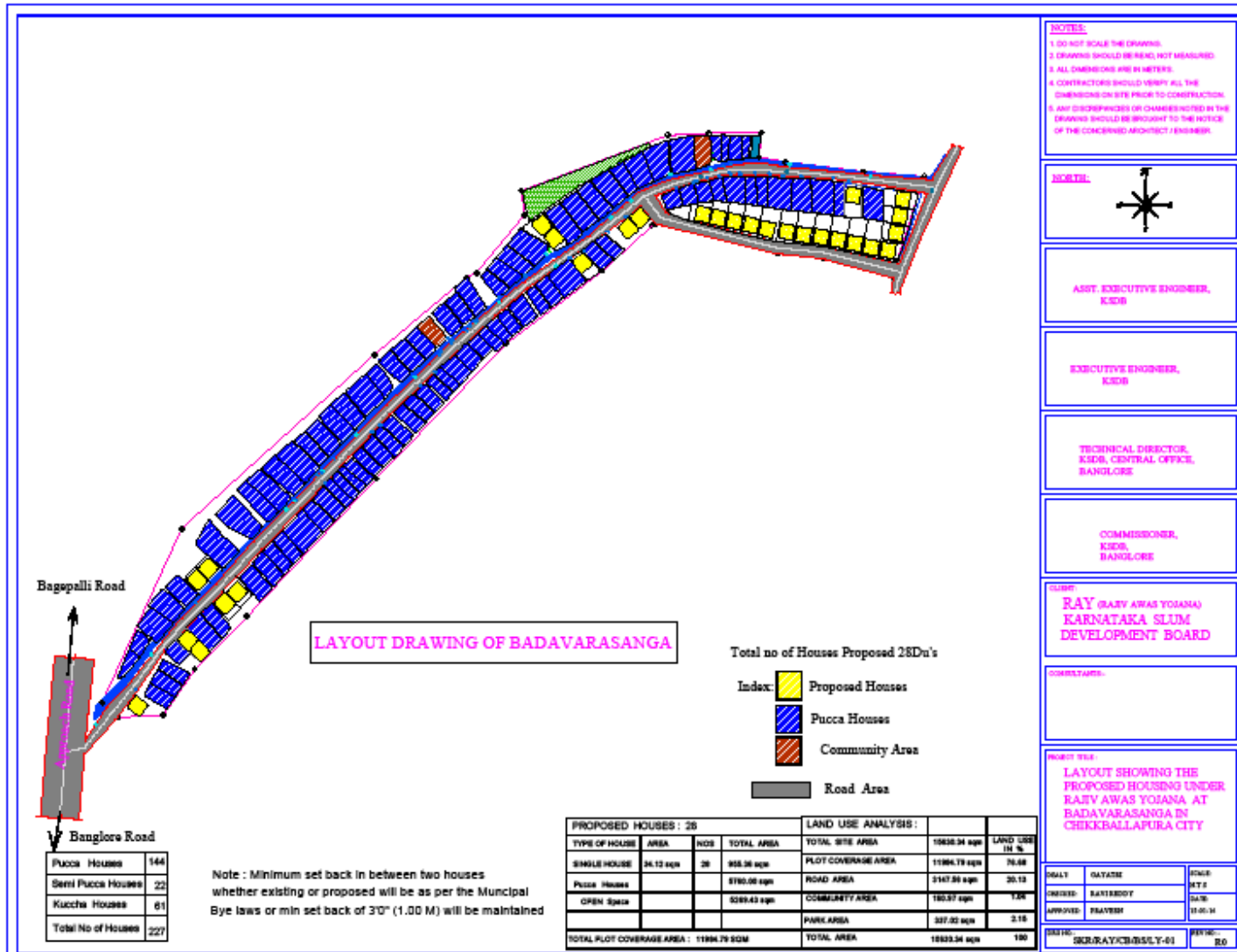
Built up area : 34.12 Sqm (367 Sqft.)

Hall	=	9.86 Sqm
Bedroom	=	7.25 Sqm
Kitchen	=	5.22 Sqm
Bath	=	3.00 Sqm
WC	=	0.90 Sqm
Passage	=	0.77 Sqm
Total Carpet Area	=	27.00 Sqm

Darga Mohalla Layout Plan



Badavarasanga Slum Layout Plan



Existing Scenario of Chikkaballapura slums



Dargamohalla slum



Nakkalkunta



Badavarasanga slum 82

06. BIDAR CITY

CITY AREA IN SQ KM	43.00 Sq.Km
POPULATION AS PER 2011 CENSUS	2,16,020.00
NO OF SLUMS	39
NO OF NOTIFIED SLUMS	23
NO OF NON- NOTIFIED SLUMS	16
SLUM POPULATION	84571
NO OF HOUSE HOLDS IN SLUMS	16355
PERCENTAGE OF SLUM POPULATION	37.89%

DPR Findings

Construction of 1500 houses & Infrastructure at 7 selected slums in Bidar City under Affordable Housing in Partnership vertical of HFA by dovetailing with Vajapayee Urban Housing Scheme and Dr. B. R. Ambedkar Nivas Yojana.

Sl. No.	Name of the Slum	Area of Extent (in Sq.mtrs)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under HFA	Mode of development proposed
1	LADGIRI	37636	ULB	270	GF	245	In-situ Re- development
2	NARIGAR MOHALOLA	37920	ULB	410	GF	401	In-situ Re- development
3	PAKALVADA	13361	ULB	423	GF	415	In-situ Re- development
4	TALGHAT	16673	ULB	334	GF	254	In-situ Re- development
5	IRANI COLONY	16511	ULB	83	GF	50	In-situ Re- development
6	BADRUDDIN COLONY	30351	ULB	119	GF	70	19
7	SHAH GUNJ & MULTANI COLONY	40468	ULB	138	GF	65	In-situ Re- development
	Total					1500	

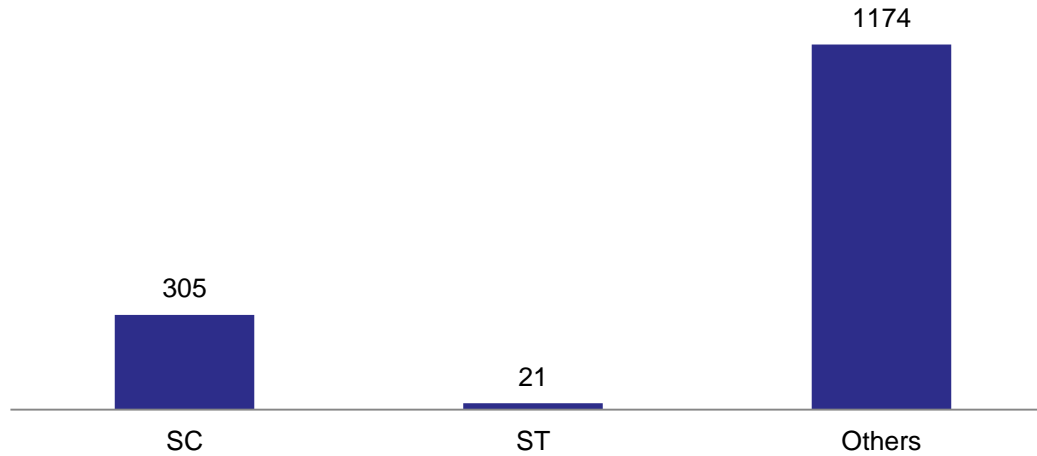
SI No.	Name of the slums	In-situ Development
1	7 Selected slums of BIDARCity	In view of unhygienic condition, vulnerable nature , housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 7 Selected slums of BIDAR City on the need basis.

Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
- **KITCHEN - CUDAPPA SINK AND PLATFORM**
- **DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS**
- **TOILETS - PVC**
- **WINDOWS & VENTILATORS – M.S. STEEL**
- **PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER**
- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

Details of Beneficiaries

Identified			DUs proposed(HFA)				
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
305	21	1174	1500	305	21	1174	1500



Construction of 1500 houses & Infrastructure at 7 selected slums in Bidar City

Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	2250.00	1990.6	438.28	1016.12	5695.00
Infrastructure	0	0	359.20	0	359.2
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	0	242.36		0	242.36
Total	2250.00	2232.96	797.48	1016.12	6296.56

Beneficiary Contribution per Family = SC/ST Rs. 0.38, Others Rs. 0.76 Lakhs

Housing to Infrastructure Ratio = 89:11

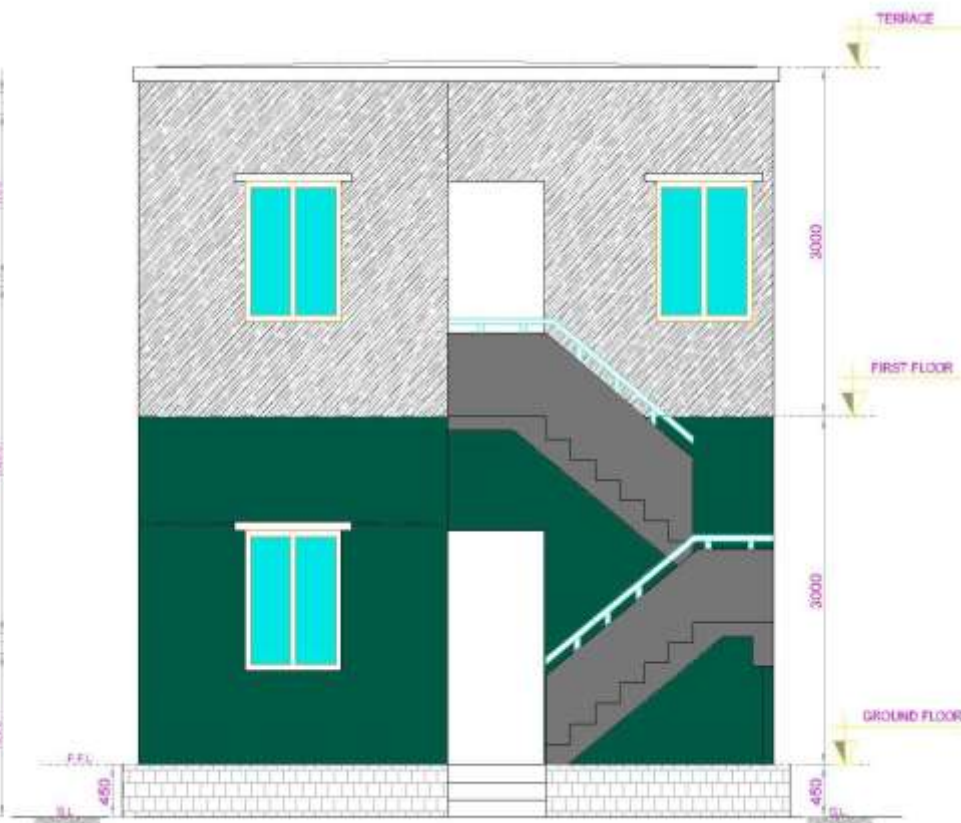
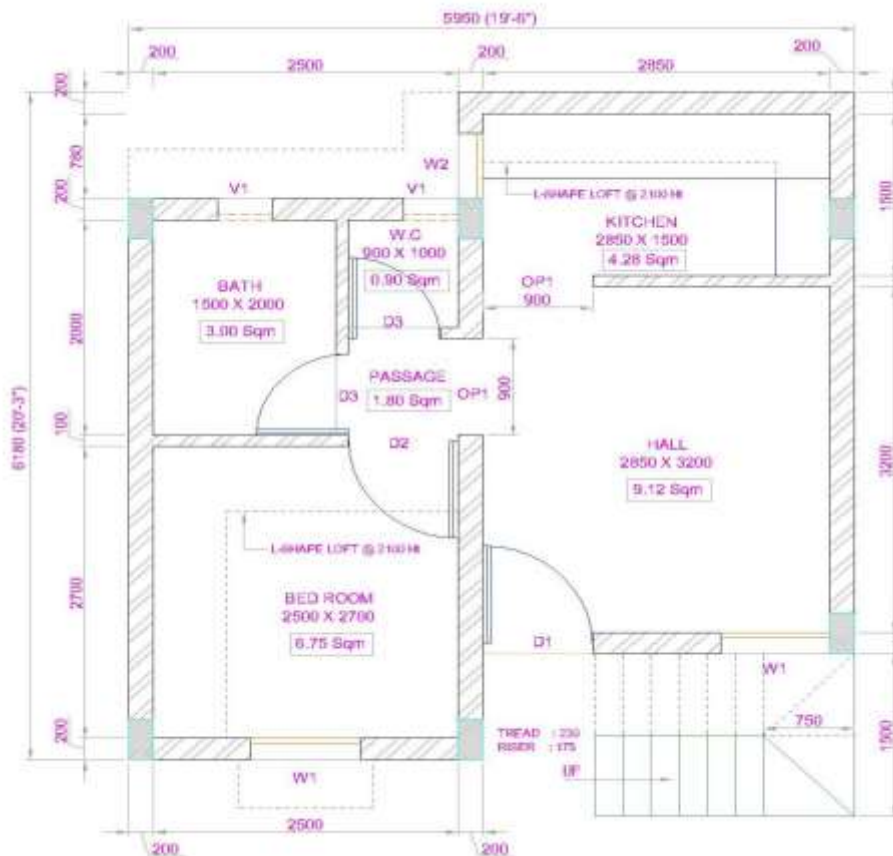
Cost per DU : Rs. 3.80 Lakhs

Cost of infra per DU : Rs. 0.24 Lakhs

Cost per Sqft. : Rs. 1393/-

**APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.6296.56 LAKHS IS
REQUESTED.**

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall	=	9.86 Sqm
Bedroom	=	7.25 Sqm
Kitchen	=	5.22 Sqm
Bath	=	3.00 Sqm
WC	=	0.90 Sqm
Passage	=	0.77 Sqm
Total Carpet Area	=	27.00 Sqm

07. BANGALORE CITY – BASAVANAGUDI & BANGALORE SOUTH

CITY AREA IN SQ KM	741 Sq.Km
POPULATION AS PER 2011 CENSUS	85 Lakhs
NO OF SLUMS	597
NO OF NOTIFIED SLUMS	310
NO OF NON- NOTIFIED SLUMS	287
SLUM POPULATION	15 lakhs
NO OF HOUSE HOLDS IN SLUMS	3.19 Lakhs
PERCENTAGE OF SLUM POPULATION	18%

DPR Findings

Construction of 1523 houses & 176 (G+1 Dus) including Infrastructure at 4 selected slums of Bangalore South Assembly Constituency and 2 selected slums of Basavanagudi Assembly Constituency in Bangalore City under Affordable Housing in Partnership vertical of HFA by dovetailing with Vajapayee Urban Housing Scheme and Dr. B. R. Ambedkar Nivas Yojana.

Sl. No.	Name of the Slum	Area of Extent (in Sq.mtrs)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under HFA	Mode of development proposed
1	Manjunatha Colony	9.-14	BDA	872	Conventional (GF)	533	In-situ Re-development
2	Srinagaragudde	00-10	ULB	70	Conventional (GF)	70	In-situ Re-development
3	Bhuvaneshwarinagar	6-06	Govt.	307	Conventional (G+1)	176	In-situ Re-development
4	Ramachandrapura	39-00	Govt.	125	Conventional (GF)	89	In-situ Re-development
5	Sriramanagar	12-39	Govt.	250	Conventional (GF)	136	In-situ Re-development
6	Vasanthapura	13-30	Govt.	1080	Conventional (GF)	695	In-situ Re-development
	Total			2704		1699	

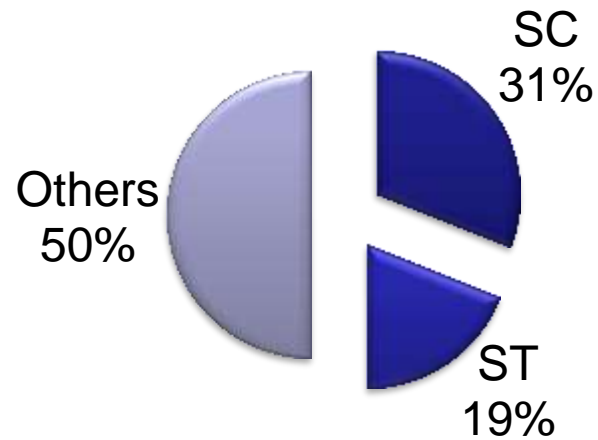
SI No.	Name of the slums	In-situ Development
1	Manjunatha Cly, Srinagaragudde, Bhuvaneshwarinagar, Sriramnagar, Ramachandrapura, Vasanthpura of Bangalore City	In view of unhygienic condition, vulnerable nature , housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 6 Selected slums of Bangalore South and Basavanagudi Assembly Constituency, Bangalore City on the need basis.

Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
- **KITCHEN - CUDAPPA SINK AND PLATFORM**
- **DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS**
- **TOILETS - PVC**
- **WINDOWS & VENTILATORS – M.S. STEEL**
- **PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER**
- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

Details of Beneficiaries

Identified				DUs proposed(HFA)			
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
527	322	850	1699	527	322	850	1699



“Construction of 1523 houses & 176 (G+1 Dus) including Infrastructure at 4 selected slums of Bangalore South Assembly Constituency and 2 selected slums of Basavanagudi Assembly Constituency in Bangalore City” Under HFA-PMAY Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	2548.5	2548.2	1915.4	1236.27	8248.37
Infrastructure	-	-	1225.32	-	1225.32
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	473.68	-	-	473.68
Total	2548.5	3021.88	3140.72	1236.27	9947.37

Beneficiary Contribution per Family = SC/ST Rs. 0.485, Others Rs. 0.97 Lakhs

Housing to Infrastructure Ratio = 88:12

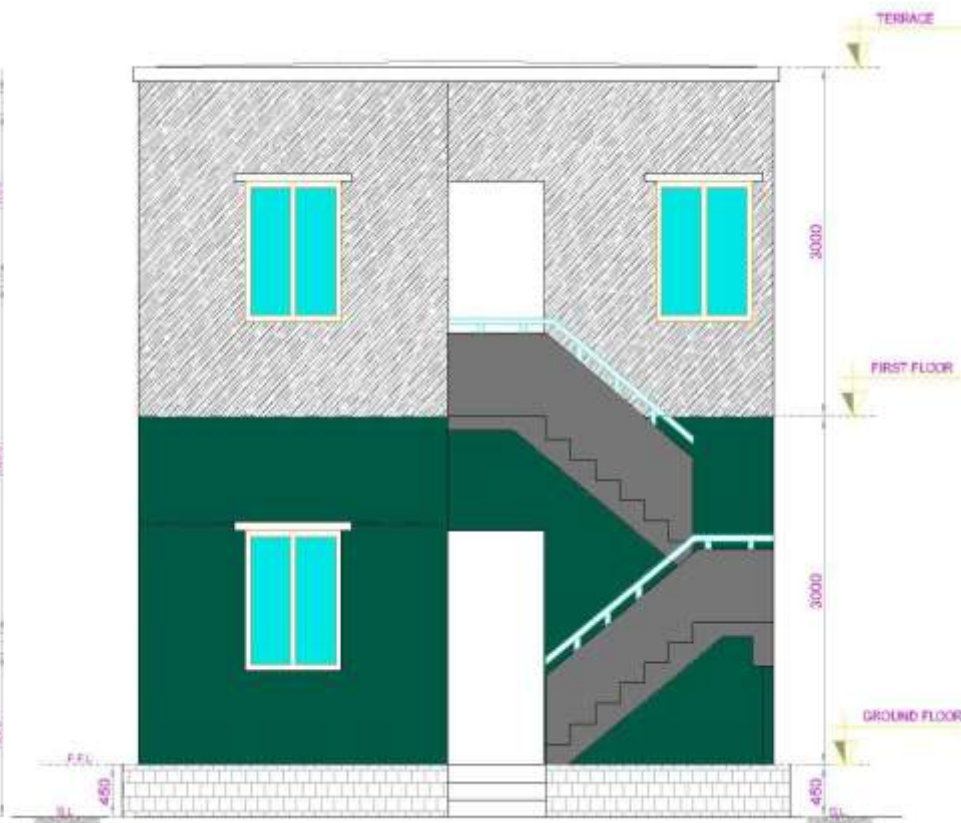
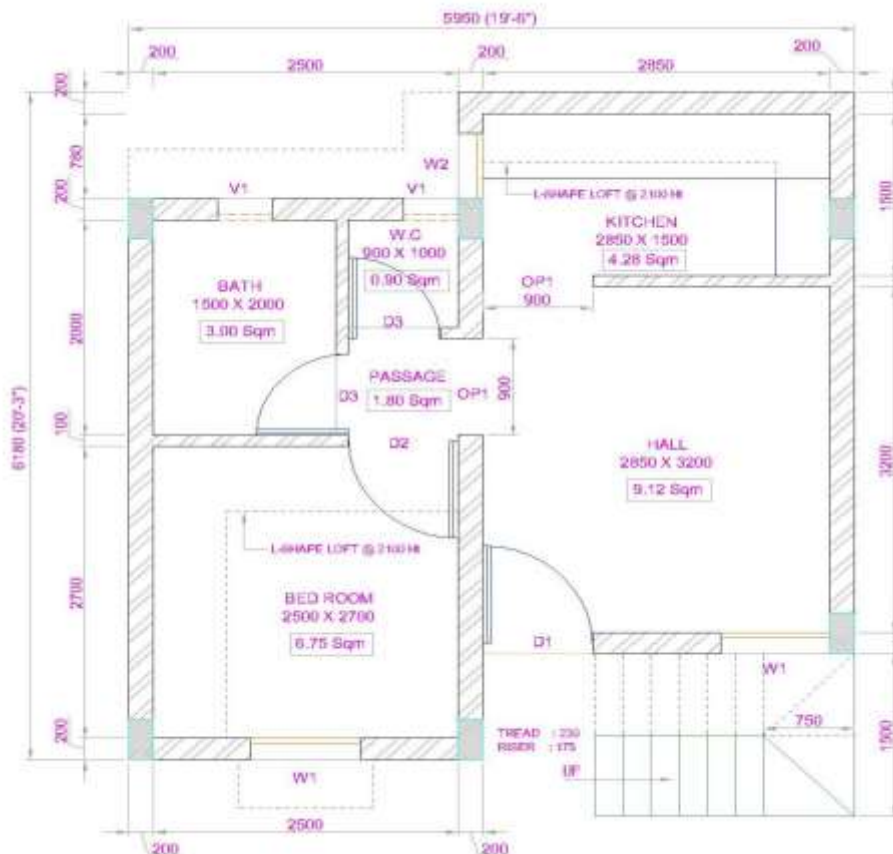
Cost per DU : Rs. 4.85 Lakhs

Cost of infra per DU : Rs. 0.74 Lakhs

Cost per Sqft. : Rs. 1498/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.9947.37 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

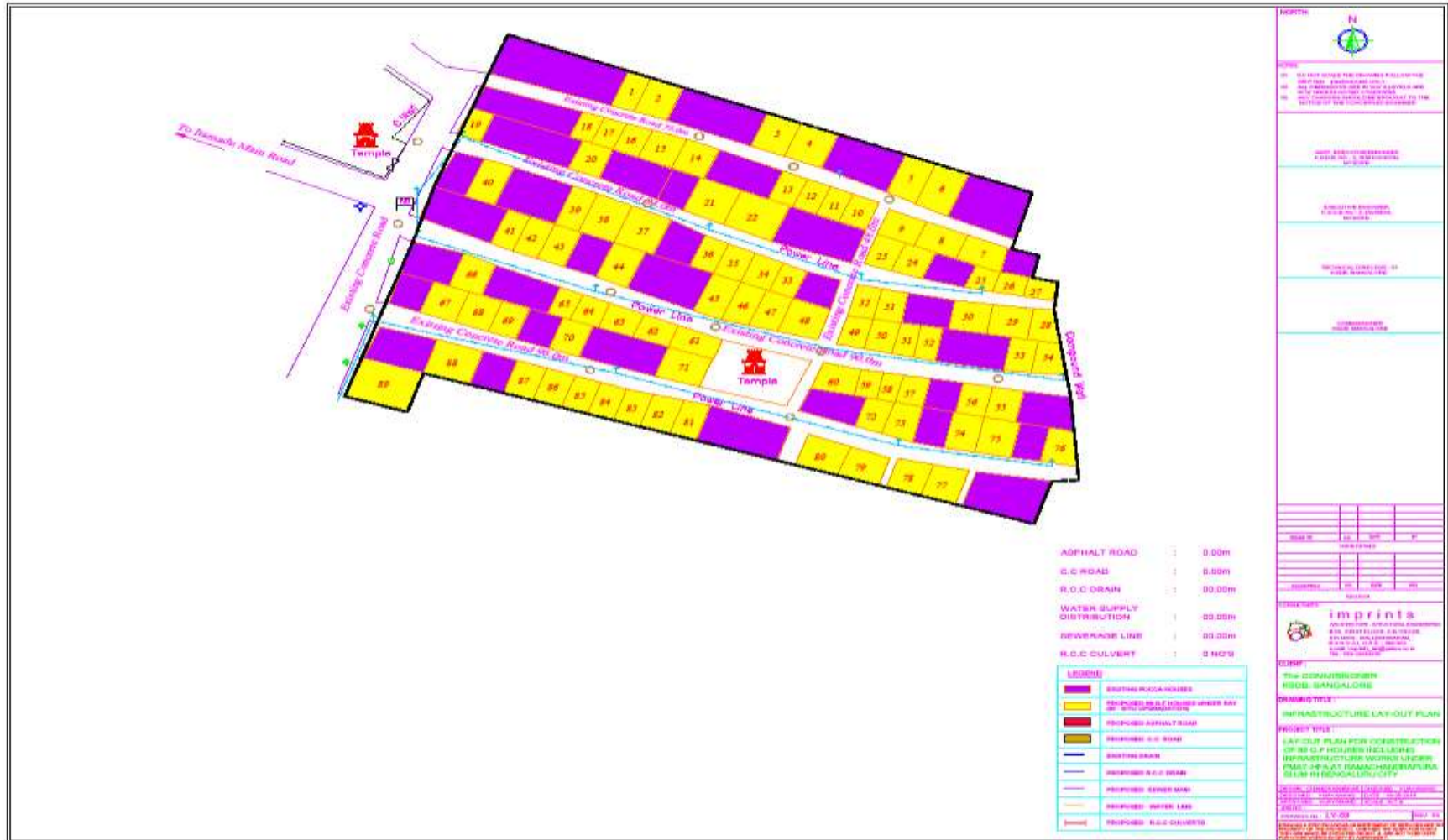
Built up area : 34.12 Sqm (367 Sqft.)

Hall	=	9.86 Sqm
Bedroom	=	7.25 Sqm
Kitchen	=	5.22 Sqm
Bath	=	3.00 Sqm
WC	=	0.90 Sqm
Passage	=	0.77 Sqm
Total Carpet Area	=	27.00 Sqm

Layout Plan of Manjunatha Colony Slum, Bangalore



Layout Plan of Ramachandrapura Slum, Bangalore



LEGEND	
	EXISTING PUCCA HOUSES
	PROPOSED PUCCA HOUSES UNDER 30' SET BACK REGULATIONS
	PROPOSED ASPHALT ROAD
	PROPOSED C.C. ROAD
	EXISTING DRAIN
	PROPOSED R.C.C. DRAIN
	PROPOSED SEWER MAIN
	PROPOSED WATER MAIN
	PROPOSED R.C.C. CULVERTS

TITLE

CLIENT

PROJECT TITLE

PROJECT SITE

SCALE

DATE

DESIGNED BY

CHECKED BY

APPROVED BY

PROJECT NO.

DATE OF ISSUE

REVISIONS

LEGEND

NOTES

APPENDICES

INDEX

THE CORPORATION

BBMP, BANGALORE

imprints

INFRASTRUCTURE LAYOUT PLAN

LAYOUT PLAN FOR CONSTRUCTION OF 88 G.P. HOUSES INCLUDING INFRASTRUCTURE WORKS IN 30' SET BACK REGULATIONS AT RAMACHANDRAPURA SLUM IN BANGALORE CITY

DATE OF ISSUE

SCALE

PROJECT NO.

DATE OF ISSUE

Existing scenario of slums of Padmanabhanagar Assembly Constituency in Bangalore City



Manjunatha Colony, Erannagudde,



Bhuvaneshwarinagar, Sriramnagar



Ramachandrapura, Vasanthpura of Bangalore City



08. BANGALORE CITY - PADMANABHANAGAR

CITY AREA IN SQ KM	741 Sq.Km
POPULATION AS PER 2011 CENSUS	85 Lakhs
NO OF SLUMS	597
NO OF NOTIFIED SLUMS	310
NO OF NON- NOTIFIED SLUMS	287
SLUM POPULATION	15 lakhs
NO OF HOUSE HOLDS IN SLUMS	3.19 Lakhs
PERCENTAGE OF SLUM POPULATION	18%

DPR Findings

Construction of 895 houses & Infrastructure at 2 selected slums of Padmanabhanagar Asembly Constituency in Bangalore City under Affordable Housing in Partnership vertical of HFA by dovetailing with Vajapayee Urban Housing Scheme and Dr. B. R. Ambedkar Nivas Yojana.

Sl. No.	Name of the Slum	Area of Extent (in Sq.mtrs)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under HFA	Mode of development proposed
1	Pragathipura/Haricolony/Sara bandepalya	11-12	ULB	3280	Convention al (GF)	650	In-situ development
2	Maruthinagar Ittamadu	07-32	ULB	743	Convention al (GF)	245	In-situ development
	Total			4023		895	

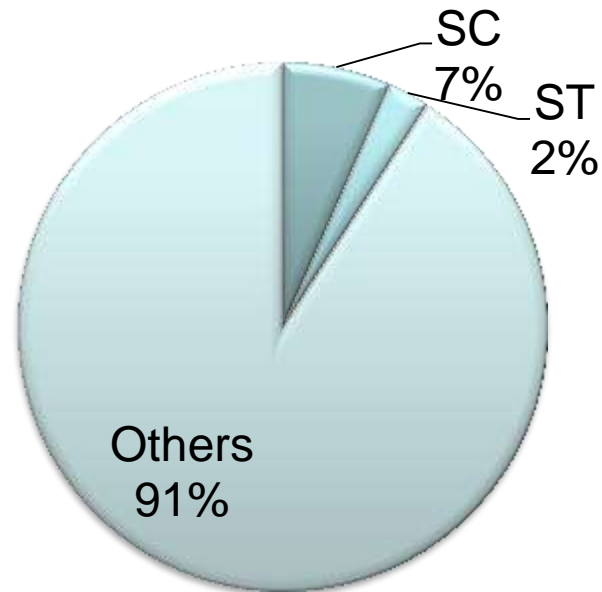
SI No.	Name of the slums	In-situ Development
1	2 Selected slums of Padmanabhanagar Assembly Constituency, Bangalore City	In view of unhygienic condition, vulnerable nature , housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 2 Selected slums of Padmanabhanagar Assembly Constituency, Bangalore City on the need basis.

Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE – RCC COLUMNS FRAME , ISOLATED FOOTINGS & TIE BEAMS**
- **SUPER STRUCTURE – 200 MM THK SOLID BLOCK MASONRY**
- **FLOORING & SKIRTING - RED –OXIDE**
- **KITCHEN - CUDAPPA SINK AND PLATFORM**
- **DOORS – ROOM & HALL: PANELLED/-FLUSH DOORS**
- **TOILETS - PVC**
- **WINDOWS & VENTILATORS – M.S. STEEL**
- **PAINTING - INTERNAL WALLS : OIL BOUND DISTEMPER**
- **EXTERNAL WALLS : WATER PROOF CEMENT**
- **WATER SUPPLY AND SANITARY SYSTEM - INTERNAL & EXTERNAL**
- **ELECTRICAL SYSTEM - INTERNAL & EXTERNAL**

Details of Beneficiaries

Identified				DUs proposed(HFA)			
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
59	23	813	895	59	23	813	895



“Construction of 895 houses (GF) & Infrastructure at 2 selected slums of Padmanabhanagar Assembly Constituency in Bangalore City” Under HFA-PMAY Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	1342.50	1123.66	1049.54	830.10	4345.8
Infrastructure	-	-	662.63	-	662.63
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	249.96	-	-	249.96
Total	1342.50	1373.62	1712.17	830.10	5258.40

Beneficiary Contribution per Family = SC/ST Rs. 0.485, Others Rs. 0.97 Lakhs

Housing to Infrastructure Ratio = 88:12

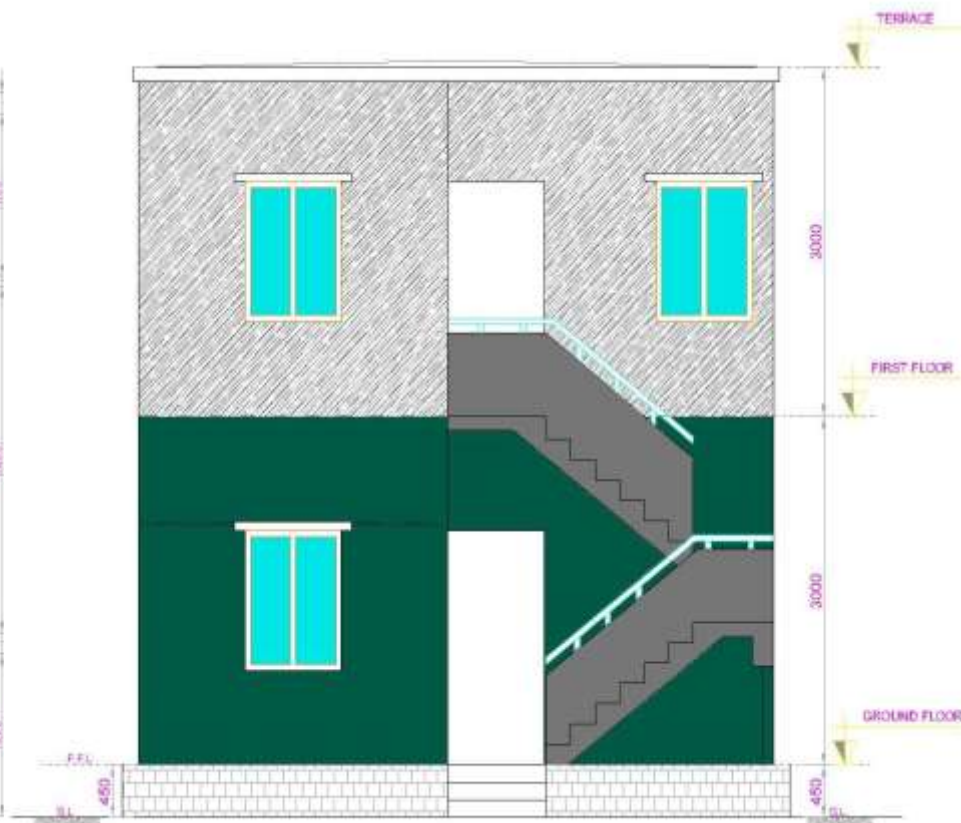
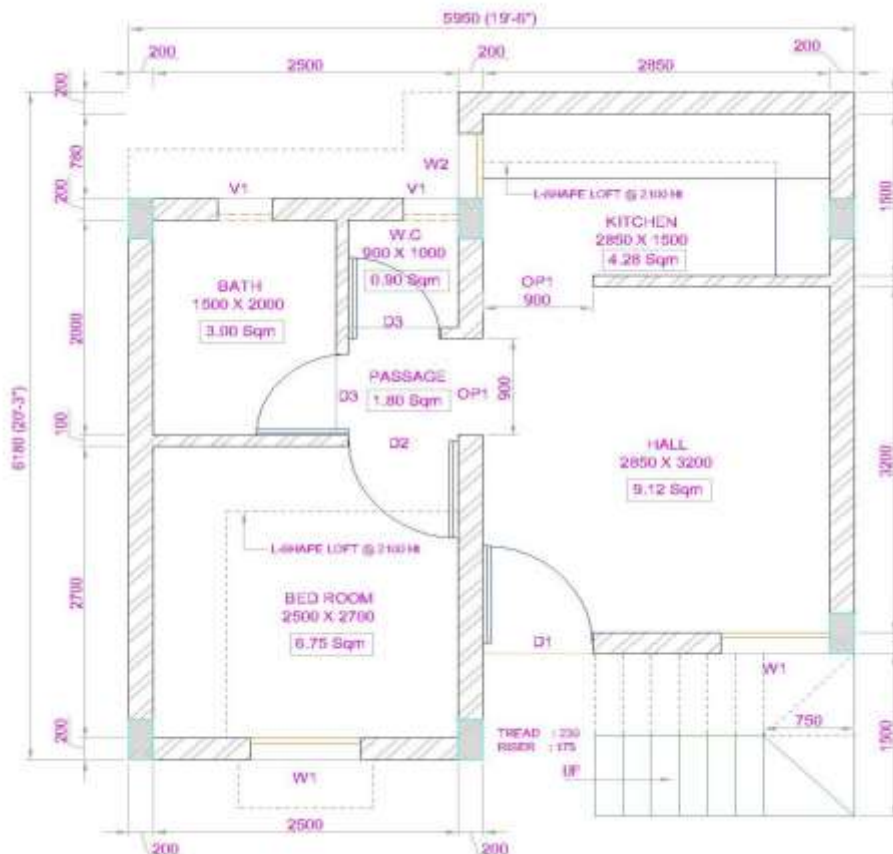
Cost per DU : Rs. 4.85 Lakhs

Cost of infra per DU : Rs. 0.74 Lakhs

Cost per Sqft. : Rs. 1498/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.5258.4 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall = 9.86 Sqm

Bedroom = 7.25 Sqm

Kitchen = 5.22 Sqm

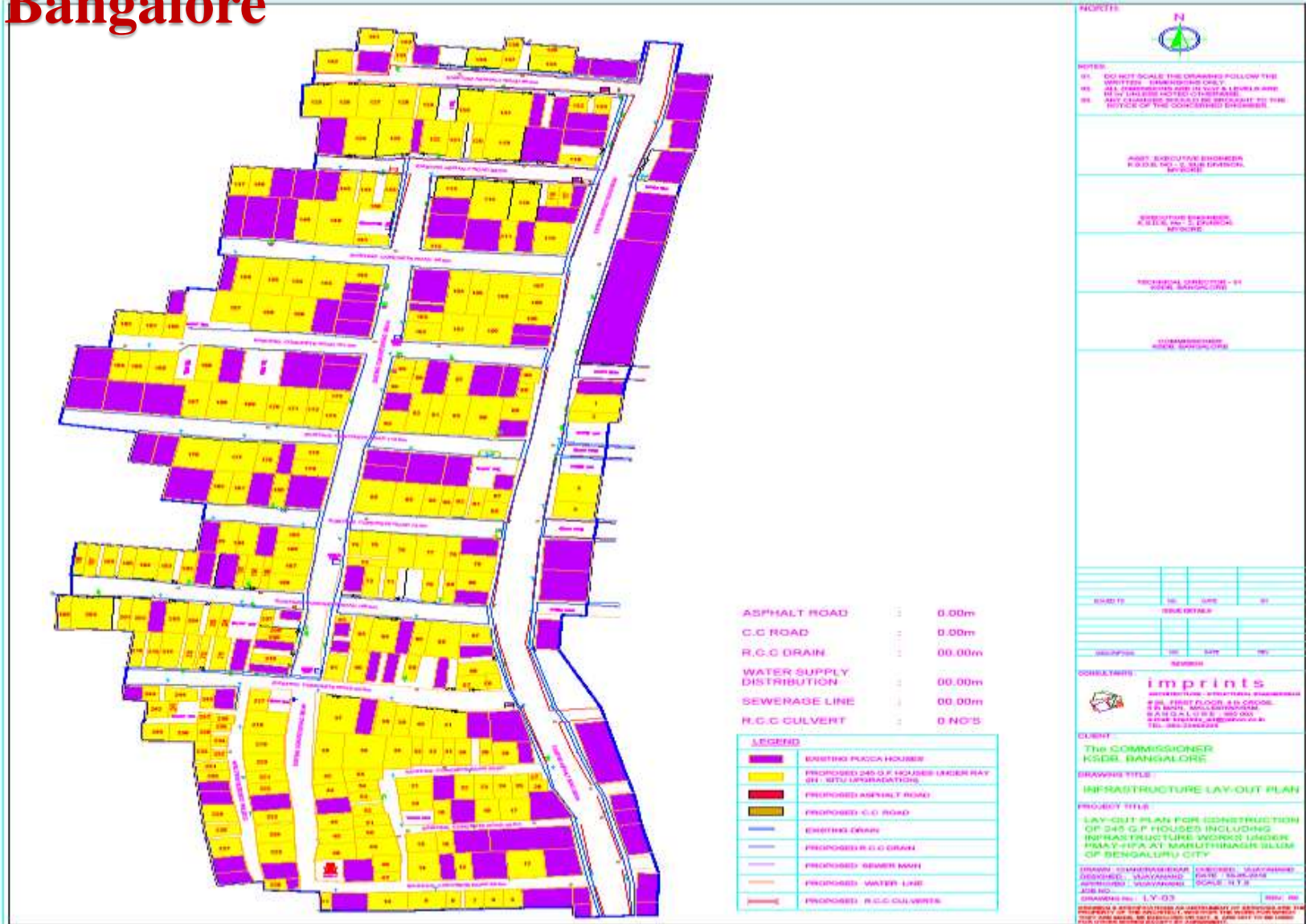
Bath = 3.00 Sqm

WC = 0.90 Sqm

Passage = 0.77 Sqm

Total Carpet Area = 27.00 Sqm

Layout Plan of Maruthinagar Slum, Padmanabhanagar Bangalore



Existing scenario of slums of Padmanabhanagar Assembly Constituency in Bangalore City



**Pragathiipura/Haricolony/
Sarabandepalya Slum**

09. MYSORE CITY- Chamaraja Area

CITY AREA IN SQ KM	128.42 SQ Km
POPULATION AS PER 2011 CENSUS	8.87 Lakhs
NO OF SLUMS	81
NO OF NOTIFIED SLUMS	62
NO OF NON- NOTIFIED SLUMS	19
SLUM POPULATION	55,000
NO OF HOUSE HOLDS IN SLUMS	10689
PERCENTAGE OF SLUM POPULATION	6.50%

DPR Findings

Construction of 655 (G.F) DUs Including Infrastructure at 4 selected Slums in Chamaraja Area of Mysore City under AHP of PMAY-HFA

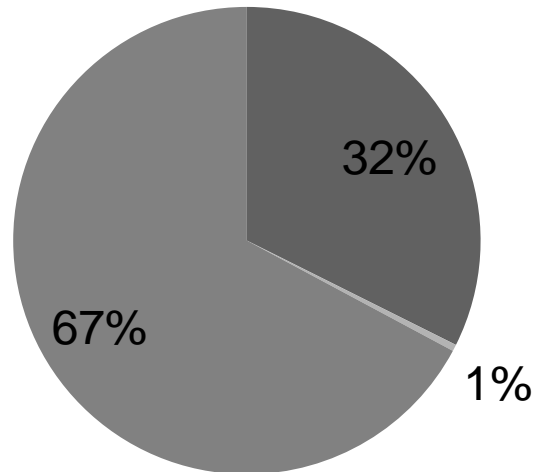
Sl. No.	Name of the Slum	Area of Extent (in Acres-Guntas)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under PMAY-HFA	Mode of development proposed
1	Kailasapuram	12-10	MCC	1854	GF	152	In-situ development
2	Mandi Mohalla	32-28	MCC	1675	GF	133	In-situ development
3	Nazarbad	36-37	MCC	2458	GF	226	In-situ development
4	PK Sanatorium	4-15	MCC	184	GF	144	In-situ development
	Total			6171		655	

SI No.	Name of the slums	In-situ Development
1	4 Selected slums of Chamaraja Area of Mysore City	In view of unhygienic condition, vulnerable nature, housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 4 Selected slums of Chamaraja Area of Mysore City on the need basis.

Details of Beneficiaries

Identified				DUs proposed (HFA)			
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
212	03	440	655	212	03	440	655

SC
 ST
 Others



Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE** – EWE, SAND & BOULDERS, M7.5 CC, SSM
(FOUNDATION), SSM (BASEMENT), PLINTH BEAM
- **SUPER STRUCTURE** – 200 MM THK SOLID BLOCK MASONRY
- **FLOORING & SKIRTING** - CUDAPPA
- **KITCHEN** - CUDAPPA SINK AND PLATFORM
- **DOORS** – ROOM & HALL: PANELLED/-FLUSH DOORS
- **TOILETS** - PVC
- **WINDOWS & VENTILATORS** – M.S. STEEL
- **PAINTING - INTERNAL WALLS** : OIL BOUND DISTEMPER
- **EXTERNAL WALLS** : WATER PROOF CEMENT
- **WATER SUPPLY AND SANITARY SYSTEM** - INTERNAL & EXTERNAL
- **ELECTRICAL SYSTEM** - INTERNAL & EXTERNAL

“Construction of 655 (G.F) DUs Including Infrastructure at 4 selected Slums in Chamaraja Area of Mysore City under AHP of PMAY-HFA”

Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	982.5	915	720.9	526	3144
Infrastructure	-	-	529	-	529
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	183.65	-	-	183.65
Total	982.5	1098.65	1249.9	526	3856.65

Beneficiary Contribution per Family = SC/ST Rs. 0.48 & Others Rs. 0.96 Lakhs

Housing to Infrastructure Ratio = 84:16

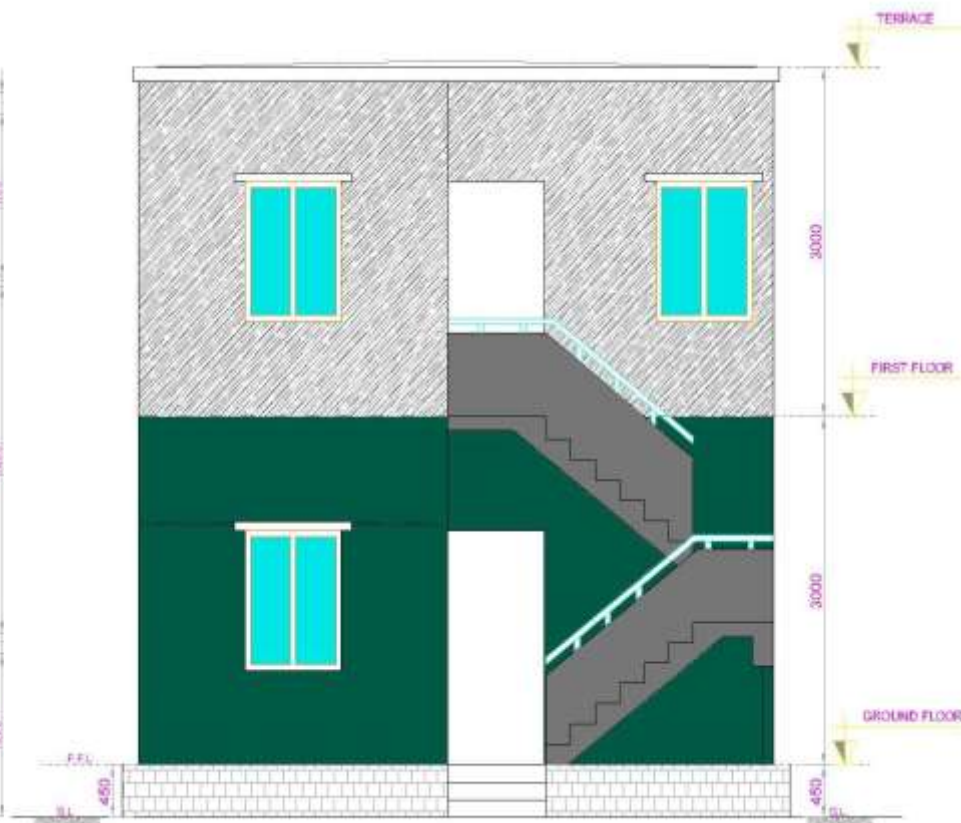
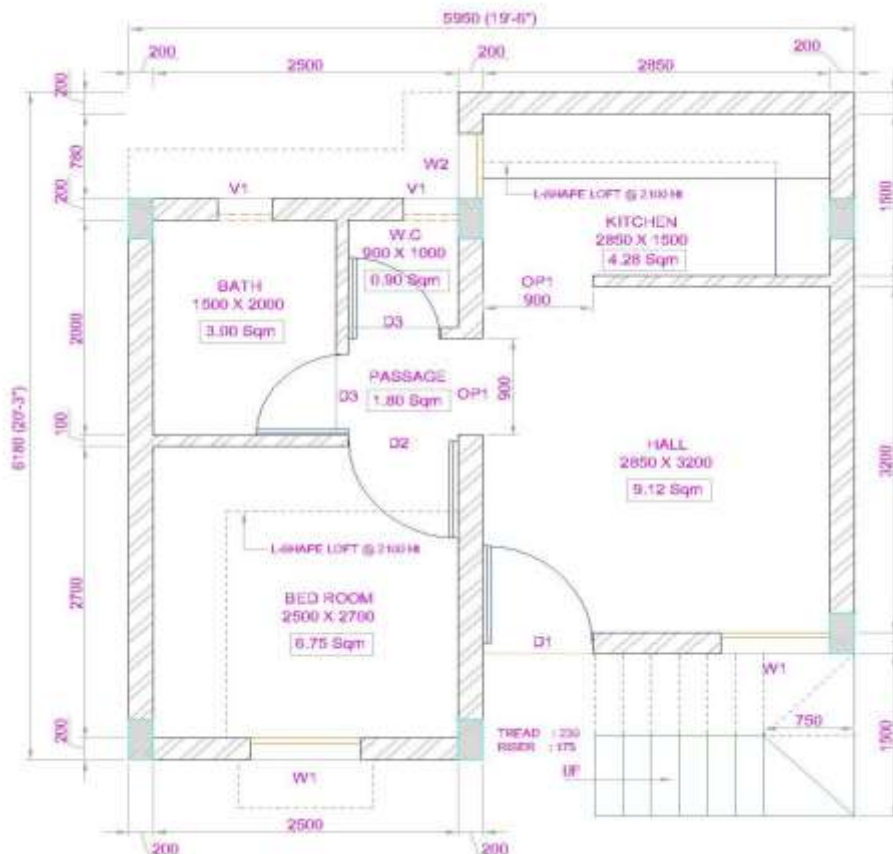
Cost per Du : Rs. 4.80 Lakhs

Cost of infra per Du : Rs. 0.80 Lakhs

Cost per Sqft. : Rs. 1655/-

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.3856.65 LAKHS IS REQUESTED.

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall = 9.86 Sqm

Bedroom = 7.25 Sqm

Kitchen = 5.22 Sqm

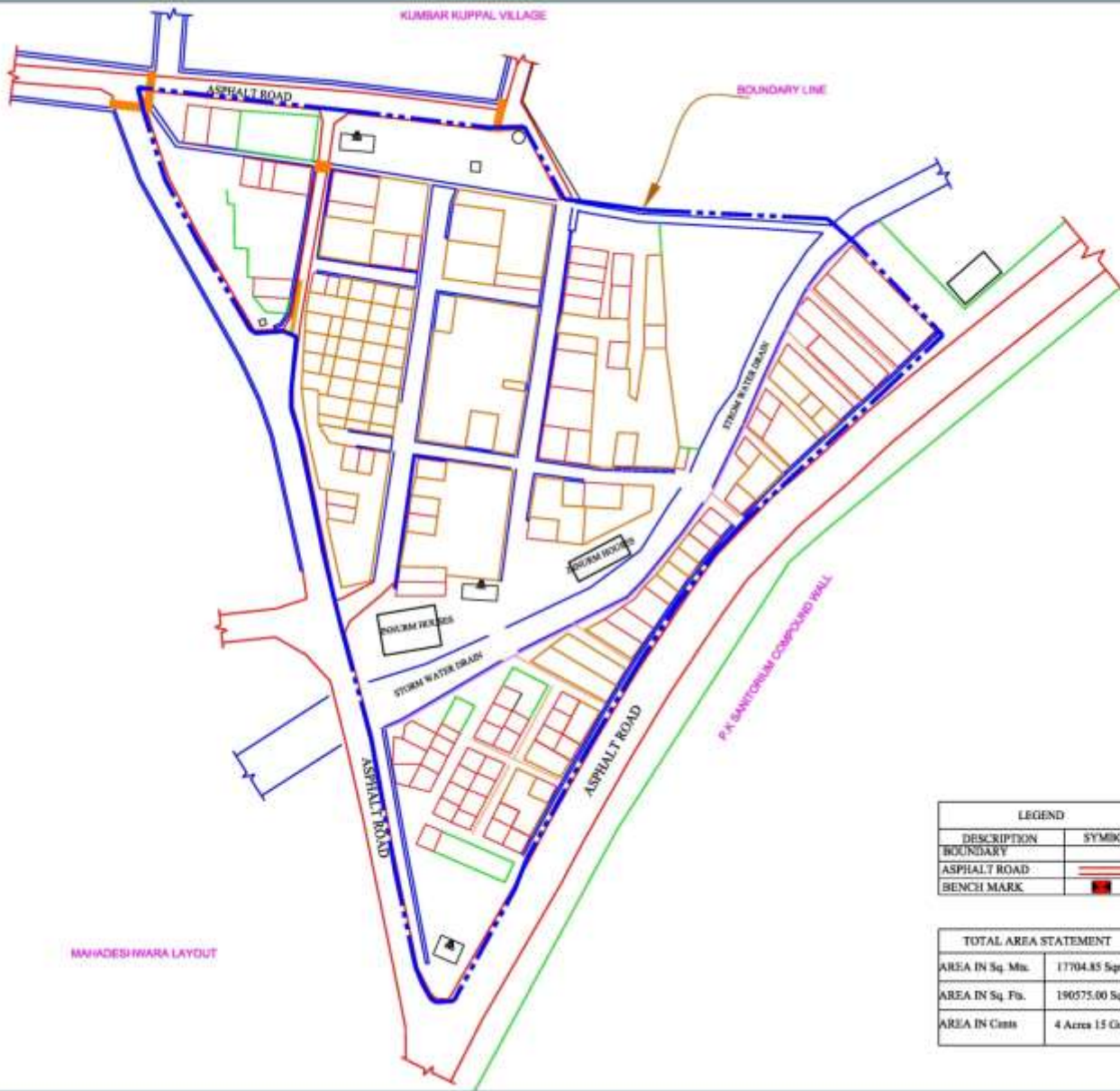
Bath = 3.00 Sqm

WC = 0.90 Sqm

Passage = 0.77 Sqm

Total Carpet Area = 27.00 Sqm

Layout Plan of PK Sanitorium Slum, Chamaraja Area, Mysore



NORTH

NOTES

- DO NOT SCALE THE DRAWING FOLLOW THE WRITTEN DIMENSIONS ONLY.
- ALL DIMENSIONS ARE IN METERS & LEVELS ARE IN M UNLESS NOTED OTHERWISE.
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ASST. EXECUTIVE ENGINEER
KSDS, MYSORE.

EXECUTIVE ENGINEER
NO. 2 DIVISION
KSDS, MYSORE.

TECHNICAL DIRECTOR - IN
KSDS, BANGALORE.

COMMISSIONER
KSDS, BANGALORE.

SCALE	1:100	1:200	1:500	1:1000
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CONSULTANTS:

Imprints
ARCHITECTURE, STRUCTURAL ENGINEERING
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2RD MAIN, HALLI GOVERNMENT,
K.A.N.S.A.L.D.P.S. - MYSURU
e-mail: imprints_2008@yahoo.co.in
TEL: 9862244622

CLIENT:
The COMMISSIONER
KSDS, BANGALORE

DRAWING TITLE:
TOPOGRAPHICAL SURVEY PLAN

PROJECT TITLE:
LAY-OUT PLAN FOR CONSTRUCTION OF 144 G.P HOUSES INCLUDING INFRASTRUCTURE WORKS UNDER PMAY-HFA AT P.K.SANATORIUM SLUM OF CHAMARAJA AREA IN MYSORE CITY.

DRAWN BY: VYAMAMMO	CHECKED: VYAMAMMO
DESIGNED: VYAMAMMO	DATE: 15-08-2018
APPROVED: VYAMAMMO	SCALE: 1:100
JOB NO:	
DRAWING No.: LY-01	REV: 00

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LEGEND

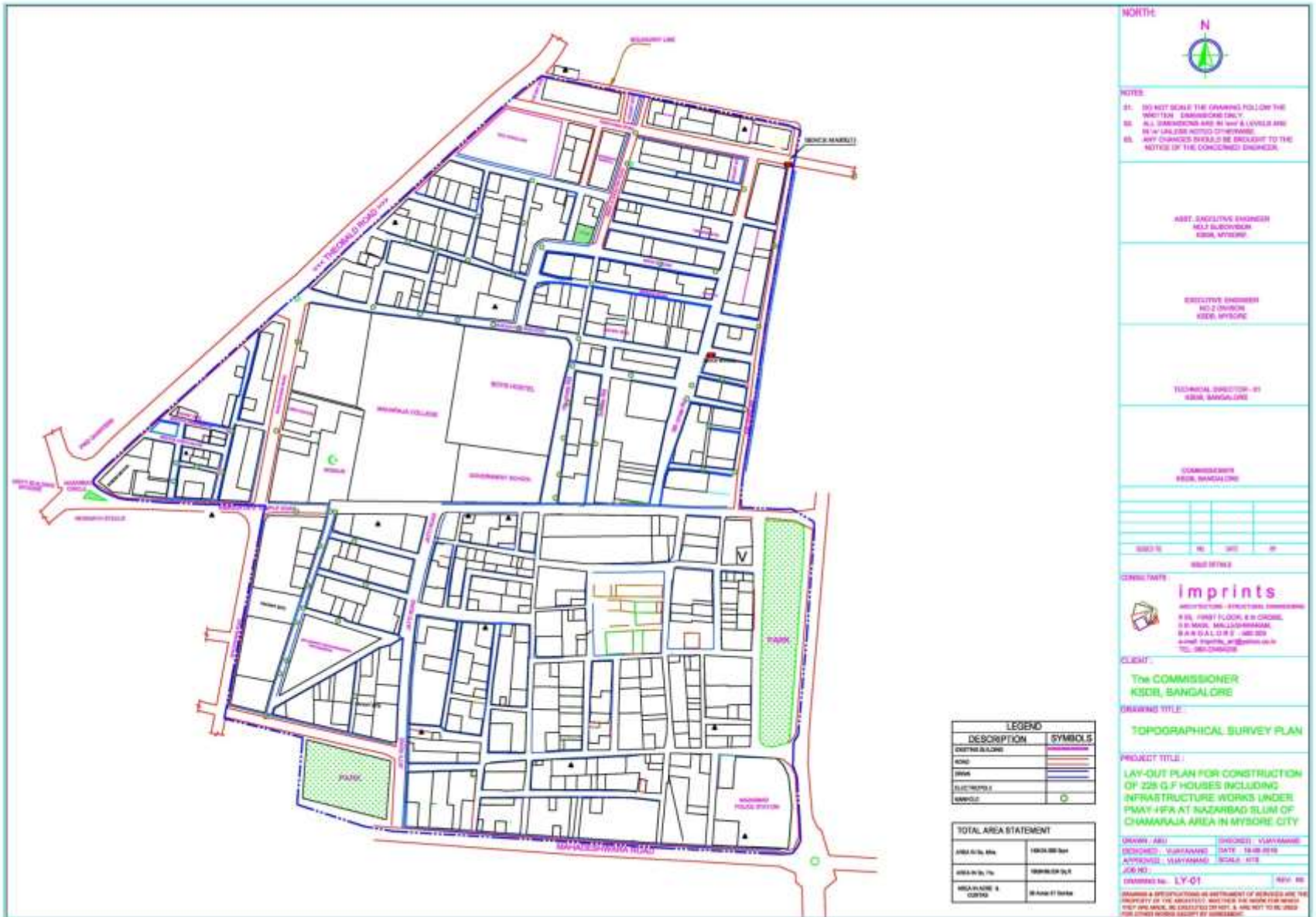
DESCRIPTION	SYMBOLS
BOUNDARY	— · — · — · — · — · — · — · — ·
ASPHALT ROAD	====
BENCH MARK	■

TOTAL AREA STATEMENT

AREA IN Sq. Mts.	17704.85 Sqns
AREA IN Sq. Fts.	190575.00 Sq ft
AREA IN Cents	4 Acres 15 Cents

MAHADESHWARA LAYOUT

Layout Plan of Nazarbada Slum, Chamaraja Area, Mysore



NORTH



NOTES

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- 02. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED OTHERWISE.
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SECT. EXECUTIVE ENGINEER
KSDRI, BANGALORE

EXECUTIVE ENGINEER
NO. 2 DIVISION
KSDRI, BANGALORE

TECHNICAL DIRECTOR - 01
KSDRI, BANGALORE

COMMISSIONER
KSDRI, BANGALORE

DATE	NO.	REV.	BY

imprints
 ARCHITECTURE - ENGINEERING - CONSTRUCTION
 8/11, FIRST FLOOR, 6 B CROSS,
 8 B CROSS, MALLASWARAM,
 BANGALORE - 560 008
 e-mail: imprints_arch@rediffmail.com
 TEL: 9845 024928

CLIENT:
 The COMMISSIONER
 KSDRI, BANGALORE

DRAWING TITLE:
 TOPOGRAPHICAL SURVEY PLAN

PROJECT TITLE:
 LAY-OUT PLAN FOR CONSTRUCTION
 OF 228 G.F. HOUSES INCLUDING
 INFRASTRUCTURE WORKS UNDER
 PMAY-UFPI AT NAZARBADA SLUM OF
 CHAMARAJA AREA IN MYSORE CITY

LEGEND		SYMBOLS
DESCRIPTION		
EXISTING BUILDING		
ROAD		
WATER		
ELECTRICITY		
WELL		

TOTAL AREA STATEMENT	
AREA IN Sq. Mts	1800.00 Sq. Mts
AREA IN Sq. Ft.	19685.00 Sq. Ft.
SCALE IN 1:500	AS SHOWN

DRAWN BY: ABU (CHECKED): VISHAYANNE
 DESIGNED: VISHAYANNE (DATE: 18.08.2018)
 APPROVED: VISHAYANNE (SCALE: A7E)
 JOB NO.:
 DRAWING NO.: LY-01 REV: 00
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Layout Plan of Kailasapuram Slum, Chamaraja Area, Mysore



NORTH

NOTES

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MEET EXECUTIVE ENGINEER
NO. 2 SUBDIVISION
KSOB, MYSORE.

EXECUTIVE ENGINEER
NO. 2 DIVISION
KSOB, MYSORE.

TECHNICAL DIRECTOR - III
KSOB, BANGALORE.

COMMISSIONER
KSOB, BANGALORE.

NO.	DATE	BY	FOR

CONSULTANTS

imprints
ARCHITECTURE STRUCTURAL ENGINEERING
4/35, FIRST FLOOR, 8th CROSS,
23rd MILE, MALLIGUWANAHALLI,
BANGALORE - 560 023
e-mail: imprints_arch@rediffmail.com
TEL: 98452 24642/3

CLIENT

The COMMISSIONER
KSOB, BANGALORE

DRAWING TITLE:
TOPOGRAPHICAL SURVEY PLAN

PROJECT TITLE:
LAY-OUT PLAN FOR CONSTRUCTION OF 152 G.P HOUSES INCLUDING INFRASTRUCTURE WORKS UNDER PMAY-HPA AT KAILASAPURAM SLUM (WARD-38) OF CHAMARAJA AREA IN MYSORE CITY

DRAWN - ASU **CHECKED - VIJAYARAM**
DESIGNED - VIJAYARAM **DATE - 18.08.2018**
APPROVAL - VIJAYARAM **SCALE - H.T.S**
JOB NO. **DRAWING No. - LY-01** **REV. No.**

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LEGEND

DESCRIPTION	SYMBOLS
ROAD	
DRAIN	

TOTAL AREA STATEMENT

AREA IN Sq. Mtrs.	49573.58 Sqm
AREA IN Sq. Ft.	533810.00 Sq Ft
AREA IN ACRE & GUNTAS	12 Acres 13 Guntas

Existing Slum Scenario of Chamaraja Area, Mysore



Kailasapura & Mandimohalla slum



Kailasapura & Mandimohalla slum

10. MYSORE CITY – Narasimaharaja Area

CITY AREA IN SQ KM	128.42 SQ Km
POPULATION AS PER 2011 CENSUS	8.87 Lakhs
NO OF SLUMS	81
NO OF NOTIFIED SLUMS	62
NO OF NON- NOTIFIED SLUMS	19
SLUM POPULATION	55,000
NO OF HOUSE HOLDS IN SLUMS	10689
PERCENTAGE OF SLUM POPULATION	6.50%

DPR Findings

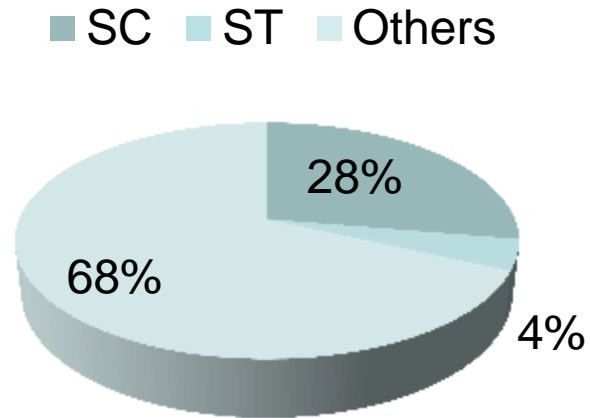
Construction of 700 (G.F) DUs Including Infrastructure at 1 selected Slum in Narasimharaja Area of Mysore City under AHP of PMAY-HFA

Sl. No.	Name of the Slum	Area of Extent (in Acres-Guntas)	Ownership of Land	No of HH's	Type of Construction	No. of Du's Proposed under PMAY-HFA	Mode of development proposed
1	KN Pura	53-38		3000	GF	700	In-situ development
	Total			3000		700	

SI No.	Name of the slums	In-situ Development
1	1 Selected slums of Narasimaharaja Area of Mysore City	In view of unhygienic condition, vulnerable nature, housing & infrastructure deficiency of the existing slums, these are now proposed for incremental housing construction with infrastructure in 1 Selected slums of Narasimaharaja Area of Mysore City on the need basis.

Details of Beneficiaries

Identified				DUs proposed (HFA)			
ANY		VVY	Total	SC	ST	Other	Total
SC	ST	Other					
05	79	616	700	05	79	616	700



Specifications Parameters – Dwelling Unit

- **SUB – STRUCTURE** – EWE, SAND & BOULDERS, M7.5 CC, SSM
(FOUNDATION), SSM (BASEMENT), PLINTH BEAM
- **SUPER STRUCTURE** – 200 MM THK SOLID BLOCK MASONRY
- **FLOORING & SKIRTING** - CUDAPPA
- **KITCHEN** - CUDAPPA SINK AND PLATFORM
- **DOORS** – ROOM & HALL: PANELLED/-FLUSH DOORS
- **TOILETS** - PVC
- **WINDOWS & VENTILATORS** – M.S. STEEL
- **PAINTING - INTERNAL WALLS** : OIL BOUND DISTEMPER
- **EXTERNAL WALLS** : WATER PROOF CEMENT
- **WATER SUPPLY AND SANITARY SYSTEM** - INTERNAL & EXTERNAL
- **ELECTRICAL SYSTEM** - INTERNAL & EXTERNAL

“Construction of 700 (G.F) DUs Including Infrastructure at 1 selected Slum in Narasimaharaja Area of Mysore City under AHP of PMAY-HFA”

Funding Arrangement

Component	Central Share in Lakhs	State Share in Lakhs	ULB Share in Lakhs	Beneficiary Share in Lakhs (10%-20%)	Total Project Cost
Housing	1050	900	786	624	3360
Infrastructure	-	-	636.5	-	636.5
Others – 5% (A&OE, DPR preparation, QC & IEC Etc.,)	-	199.8	-	-	199.82
Total	1050	1100	1423	624	4196.32

Beneficiary Contribution per Family = SC/ST Rs. 0.48 & Others Rs. 0.96 Lakhs

Housing to Infrastructure Ratio = 82:18

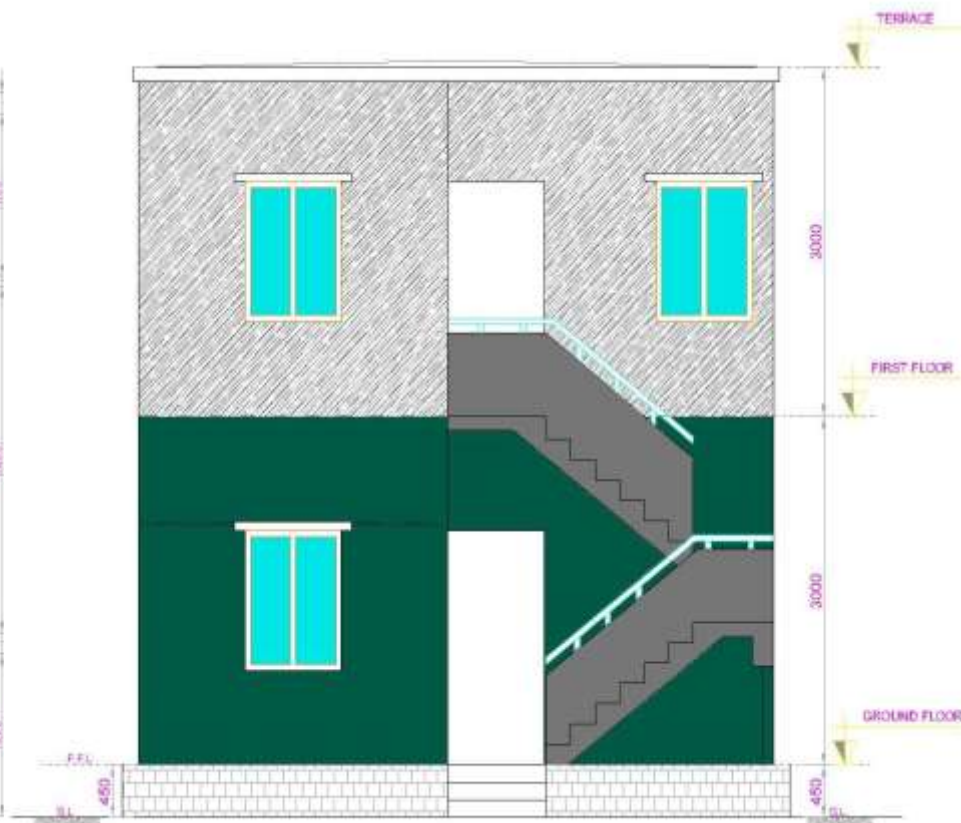
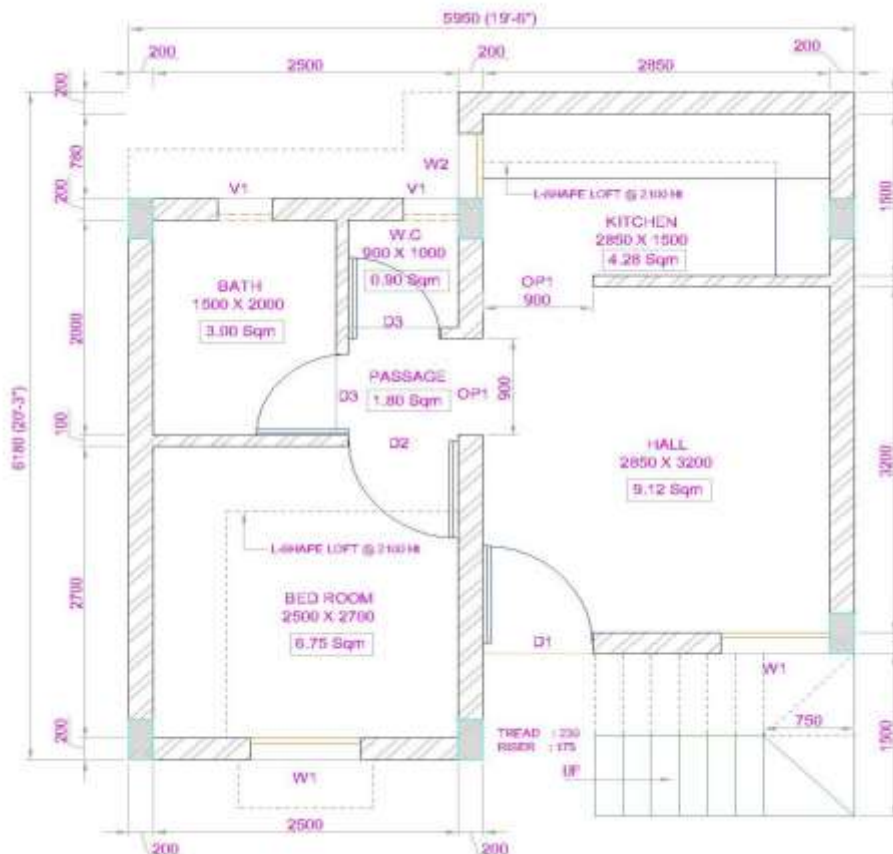
Cost per Du : Rs. 4.80 Lakhs

Cost of infra per Du : Rs. 0.90 Lakhs

APPROVAL TO DPR OF PROJECT AMOUNTING TO RS.4196.32 LAKHS IS REQUESTED.

Cost per Sqft. Rs. 1655

PROPOSED TYPICAL GROUND FLOOR UNIT PLAN FOR INCREMENTAL



Carpet area : 27 Sqm

Built up area : 34.12 Sqm (367 Sqft.)

Hall = 9.86 Sqm

Bedroom = 7.25 Sqm

Kitchen = 5.22 Sqm

Bath = 3.00 Sqm

WC = 0.90 Sqm

Passage = 0.77 Sqm

Total Carpet Area = 27.00 Sqm

THANK YOU

A photograph of a sunset or sunrise. The sun is a bright, glowing orb in the center, partially obscured by the silhouettes of bare trees. The sky transitions from a pale yellow at the top to a deep orange and red near the horizon. The foreground is dark and out of focus, showing more silhouettes of trees and grass.