



Pradhan Mantri Awas Yojana

Amravati, Maharashtra



प्रधान मंत्री आवास योजना

Housing for All (Urban)

Project

अमरावती महानगर पालिका, अमरावती

Construction of 6158 EWS houses under (BLC) scheme number 4 in 5 zones of Amravati City.

Presented by:
Municipal Commissioner, Amravati

Beneficiary Led Construction Scheme

PROJECT INFORMATION : Construction of 6158 EWS houses under (BLC) scheme number 4 in 5 zones of Amravati City.

- **Total No. Of Tenements-6158**
- **No. of Houses– 6158**
- **Project Duration-22 Months**
- **Ameneties**

| | | |
|-----------------------------|---|--|
| 1. Approach Road with width | : | Available |
| 2. Water Supply details | : | Available |
| 3. Power details | : | Available |
| 4. Drainage details | : | Sewerage System - being executed by AMC Strom Water Drain - Available |
| 5. Solid waste management | | By the Municipal Corporation |

Construction of 6158 EWS houses under (BLC) scheme number 4 in 5 zones of Amravati City.

PROJECT COST (IN LAKHS)

| Housing | Infrastructure | Other | Total |
|----------------|----------------|---------------|----------------|
| 25247.80 lakhs | 00 lakhs | 2524.78 lakhs | 27772.58 lakhs |

BENEFICIARY CONTRIBUTION

| Installment | Income Group | CARPET AREA (SQM) | SUBSIDY FROM GOI | SUBSIDY FROM GOM | BENEFICIARY CONTRIBUTION | Total(IN LAKHS) |
|------------------------|--------------|-------------------|------------------|------------------|--------------------------|-----------------|
| 1 st (40 %) | EWS | 30 sq. mtr | 0.6 | 0.4 | 0.804 | 1.804 |
| 2 nd (40 %) | | | 0.6 | 0.4 | 0.804 | 1.804 |
| 3 rd (20 %) | | | 0.3 | 0.2 | 0.402 | 0.902 |
| Total (Lakhs) | | | 1.5 | 1.0 | 2.01 | 4.51 |

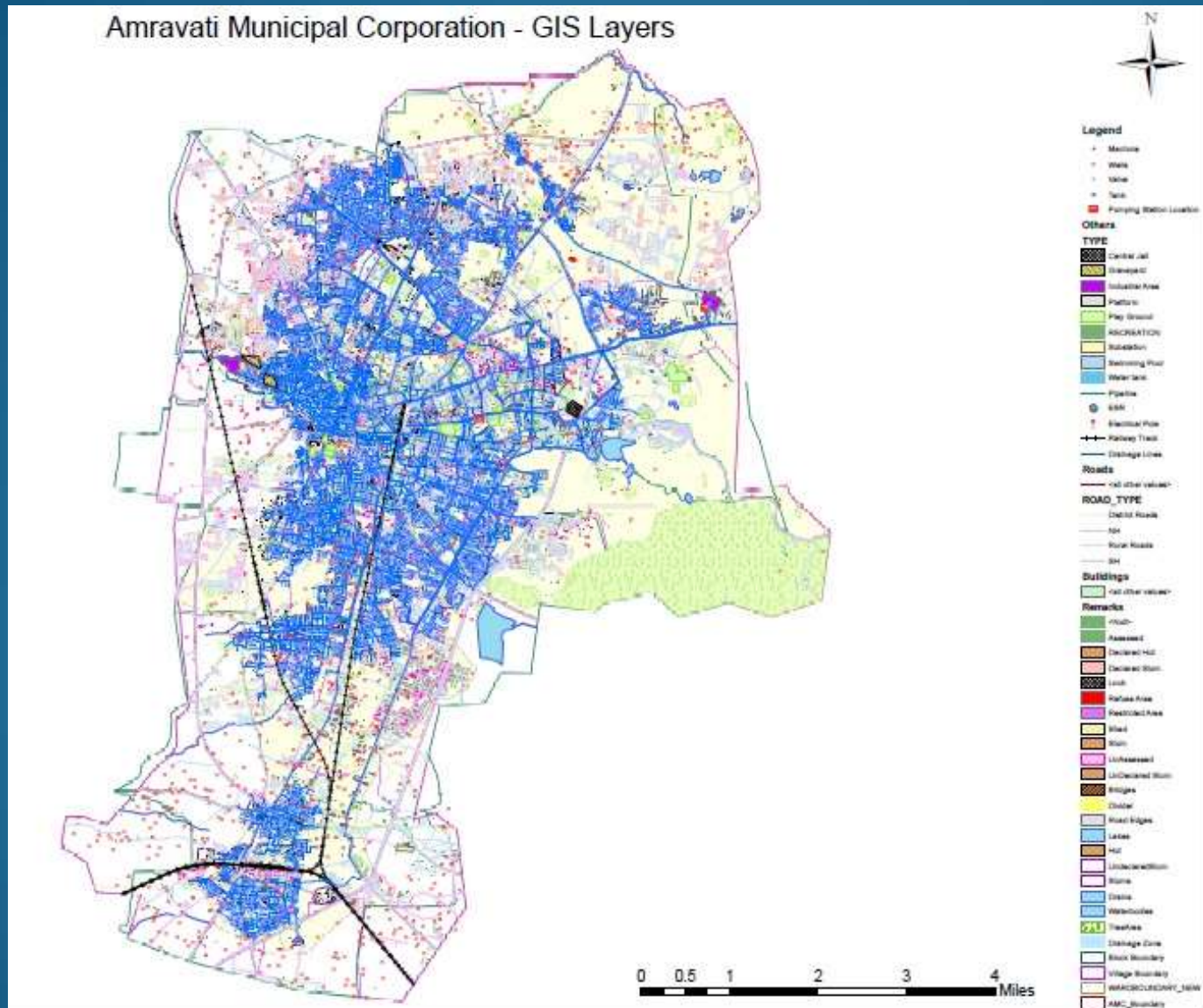
RESERVATIONS

AS PER GOVT GR NO PCM/2009/160/P.K.94/UD-22 DATED 4/09/2011

| NO. OF EWS BENEFICIARIES COVERED OR PROPOSED IN THE PROJECT | Gen | SC | ST | OBC | Min | Total |
|---|------|-----|----|------|-----|-------|
| EWS | 2966 | 713 | 32 | 2417 | 872 | 6158 |

SITE LOCATION – GIS MAP

All 6158 beneficiaries are spread all over the City

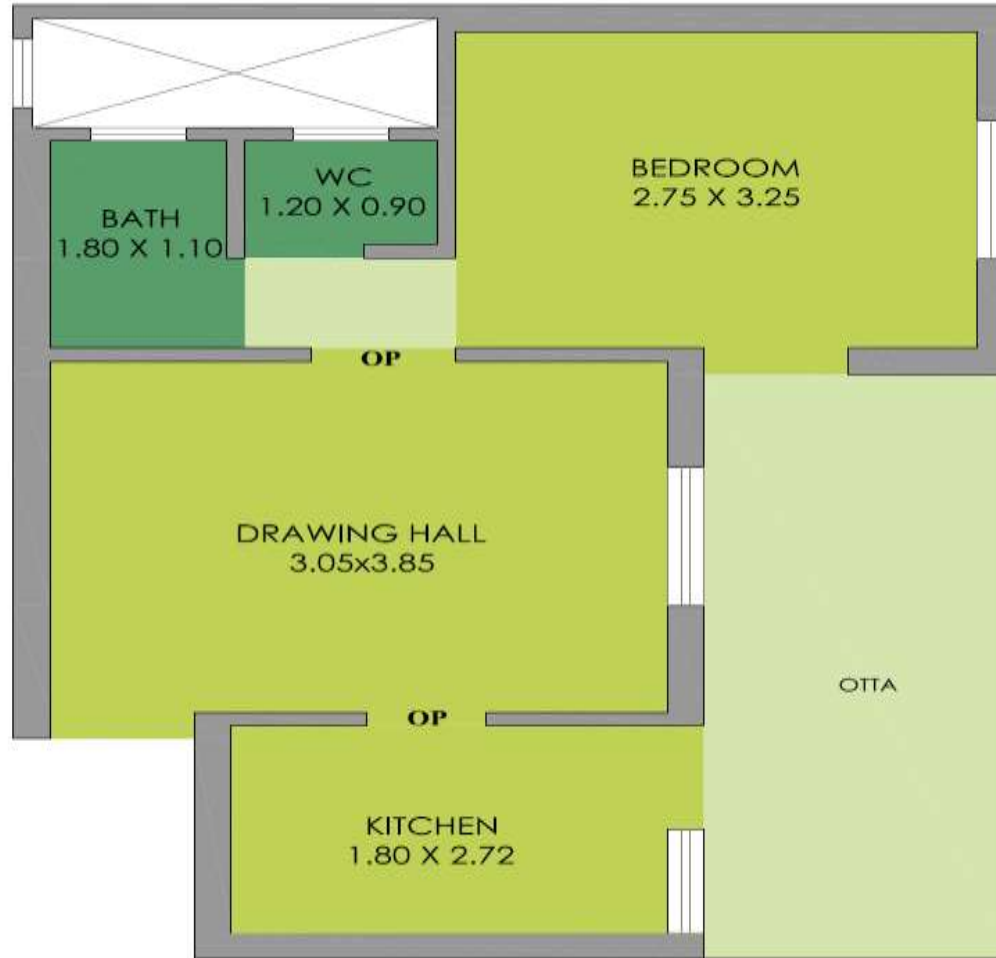


PRESENT SITE STATUS

- ❑ Amravati is a Municipal Corporation area .
- ❑ All 6158 Beneficiaries have submitted on line applications along with title of ownership such as city survey records, revenue records, 6/2 records, property tax records etc.
- ❑ **Status of Land** : Land is owned & possessed by 6158 beneficiaries in Residential Zones.
- ❑ All beneficiaries will have different building plan depending on the size of their plot, financial capabilities , family requirements and feasibility.
- ❑ Some of the Floor Plans are given in next slides

TYPICAL FLOOR PLAN (EWS)

ALTERNATIVE - 02

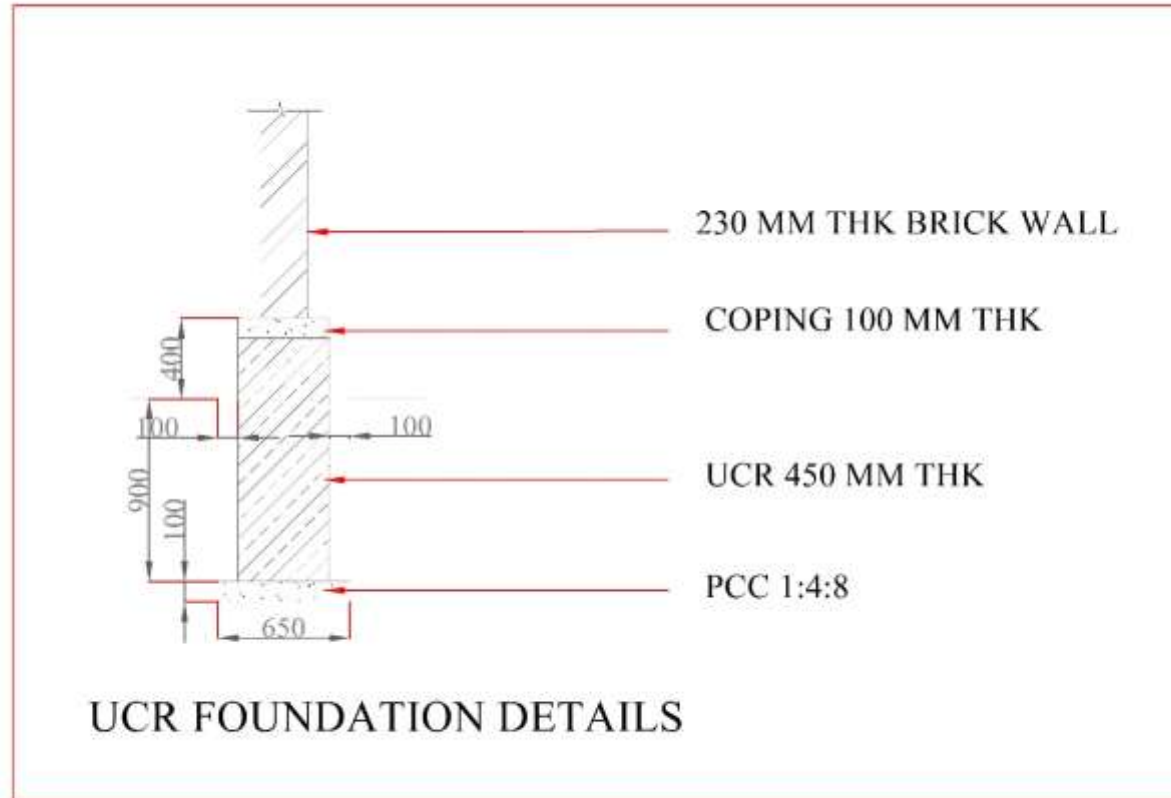


GROUND FLOOR PLAN

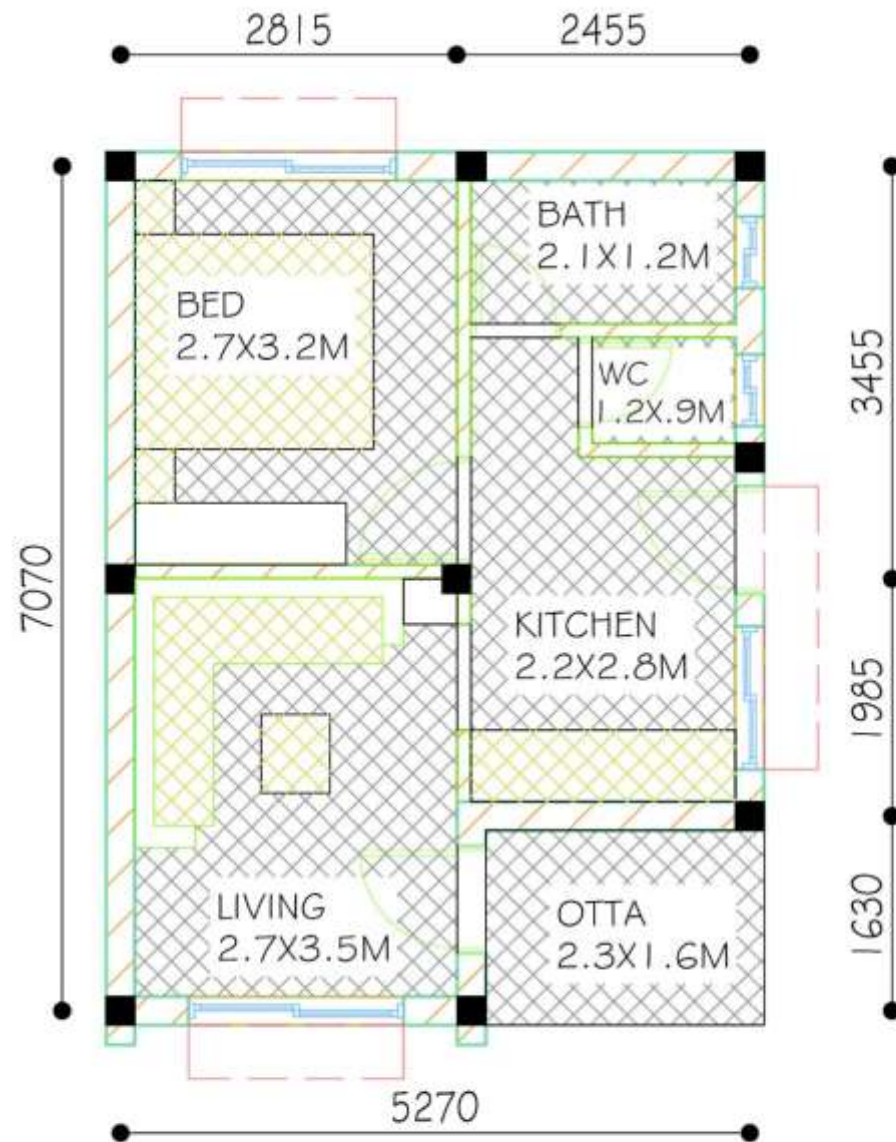
PROPOSED DWELLING UNITS

HOUSE UNIT

30 SQ.M PER UNIT



Foundation Details for Alternative 2



TYPE DESIGN
Sample Plan

SCHEDULE FOR FOOTINGS (CONC MIX - M 20)

| sr.no | footings for columns | nos. | pit size in mts | size of footing | | | | reinforcement | | | | details of eccentric footing beam (FB) | | | | REMARKS |
|-------|----------------------|------|-----------------|-----------------|-------|------|------|--------------------|-----|-------------------|-----|--|---------|------------|-------|---------|
| | | | | A mts | B mts | D mm | d mm | PI to SHORTER SIDE | | PI to LONGER SIDE | | B * D mm | top bar | bottom bar | rings | |
| | | | | | | | | dia | nos | dia | nos | | | | | |
| 1 | F1 | --- | 1.20 * 1.20 | 1.0 | 1.0 | 450 | 150 | 8 mm | 08 | 8 mm | 08 | | | | | |
| 2 | F2 | --- | 1.20 * 1.20 | 1.0 | 1.0 | 450 | 150 | 8 mm | 10 | 8 mm | 10 | | | | | |

SCHEDULE FOR COLUMNS @ FOUNDATION & GROUND FLOOR (CONC MIX - M20)

| sr.no | column code | nos. | size in mm B * D | longitudinal steel | | lateral steel | | REMARKS |
|-------|-------------|------|------------------|--------------------|-----|---------------|----------------|---------|
| | | | | dia | nos | dia | spacing | |
| 1 | C1 | --- | 230 * 230 | 12 mm | 04 | 6 mm | 180/100 mm c/c | |
| 2 | C2 | --- | 230 * 300 | 12 mm | 06 | 6 mm | 180/100 mm c/c | |

GENERA NOTES:

GRADE OF CONCRETE

M20 FOR RCC [1:1.5:3]

M10 FOR P.C.C. [1:3:6]

GRADE OF STEEL:

Fe 415 - 8mm and above (TMT) - IS 1786 - 1985)

Fe 415 - 6mm (TMT)

CLEAR COVER

COLUMNS - 30 mm

FOOTINGS - 50 mm - FROM ALL SIDES

BEAMS - 30 mm

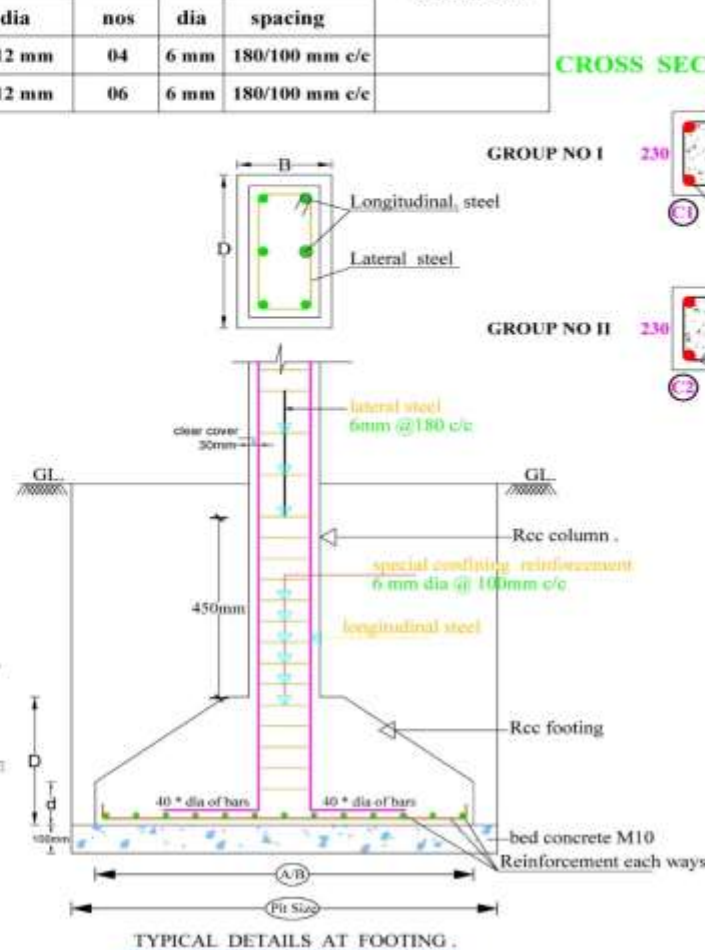
SLABS AND VERTICAL WALL - 20 mm

DEVELOPMENT LENGTH

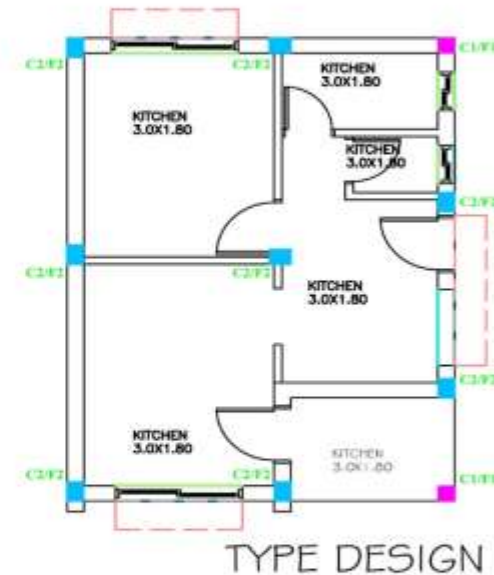
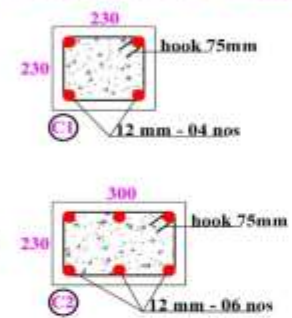
ON COMP. SIDE - 40 * DIA OF BAR

ON TENSION SIDE - 60 * DIA OF BAR

- BEARING CAPACITY ASSUMED (BASE KNOWING TO BE EXCAVATED UP TO HARD STRATUM)
- REFER ARCHITECTURAL DRAWINGS AND DIMENSIONS
- ANY TYPE OF OPENING FOR PLUMBING AND ELECTRICITY IS NOT PERMITTED THROUGH RC SECTIONS
- BURNT OIL IS NOT PERMITTED FOR SHUTTERING
- ENSURE PROPER PLACEMENT OF STEEL AND AND COMPACTION OF CONCRETE BY ENGINEER INCHARGE
- STRUCTURE - GROUND LEVEL
- DIMENSIONS ARE IN -----
- CENTERING AND SHUTTERING IS NOT OUR RESPONSIBILITY
- QUALITY CONTROL IS NOT OUR RESPONSIBILITY
- OUR RESPONSIBILITY IS LIMITED TO THIS DRAWING ONLY
- REFERENCES IS 456-2000 AND IS 13920 - 1993



CROSS SECTION OF COLUMNS



DETAILS AT FOUNDATION

R.C.C DESIGN FOR PROPOSED CONSTRUCTION OF RESIDENCE FOR MR. ----- AT AMRAVATI

JOB NO:- DT:- 26th -April- 2016 FILE :- E-----
SHEET NO:- 01 SCALE:- 1 : 100 DRAWN BY:- VKY



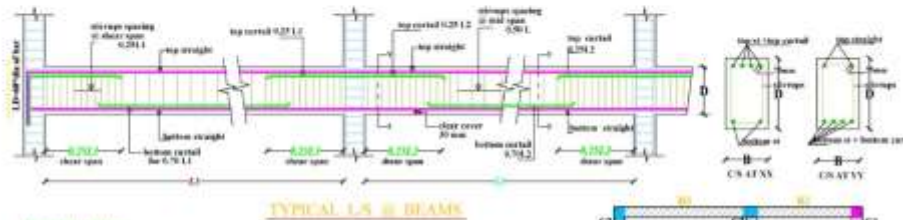
PANKAJ DESHMUKH AND ASSO.
STRUCTURAL ENGINEERS
AMC, REGD. NO. - 814479
OFF - VJAY COLONY , BUKHMINI NAGAR AMRAVATI
MB - 98 2222 8416
Email- desh.pankaj@gmail.com , pdgpanhaj@rediffmail.com

SHAIENDRA KOLHE
ARCHITECT / ENGINEER

Sample Plan - RCC Footing

SCHEDULE FOR BEAMS @ GROUND AND PLINTH (CONC MIX - M 20)

| sr no. | beams | nos. | size in mm B * D | main reinforcement | | | | stirrups | | | REMARKS |
|--------|-------|------|---------------------|--------------------|-----------------------------|---------|--------------------------|----------|--------------------|----------------------|---------|
| | | | | bottom | bottom curtail 0.70 L | top | top curtail 0.25 L | dia | mid span 0.50 L | shear span 0.25 L | |
| 1 | B1 | ---- | 230 * 300 | 2-10 mm | | 2-10 mm | | 6mm | 130 mm c/c | 100 mm c/c | |
| 2 | B2 | ---- | 230 * 300 | 2-10 mm | 1-10 mm | 2-10 mm | 1-10 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 3 | B3 | ---- | 230 * 300 | 2-10 mm | 2-10 mm | 2-10 mm | 2-10 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 4 | B4 | ---- | 230 * 380 | 2-12 mm | 2-12 mm | 2-12 mm | 2-12 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 5 | B5 | ---- | 230 * 450 | 2-12 mm | 2-12 mm | 2-12 mm | 2-12 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 6 | B11 | ---- | 150 * 300 | 2-10 mm | | 2-10 mm | | 6mm | 150 mm c/c | 150 mm c/c | |
| 7 | B12 | ---- | 150 * 300 | 2-10 mm | 1-10 mm | 2-10 mm | 1-10 mm | 6mm | 150 mm c/c | 150 mm c/c | |



GENERAL NOTES:

GRADE OF CONCRETE:

M 20 FOR RCC [1:1.5:3]
M10 FOR P.C.C [1:3:6]

GRADE OF STEEL:

To 415 - E and above (TMT) - IS 1786 - 1983
To 415 - 6 mm (TMT)

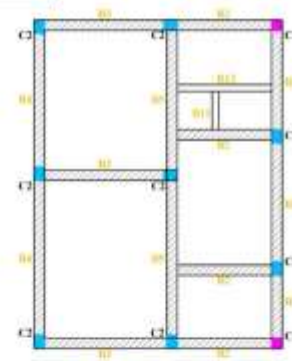
FORM COVER:

COLUMNS - 30 mm
BEAMS - 30 mm
FOOTINGS - 50 mm FROM ALL SIDES
SLABS AND VERTICAL WALL - 20 MM

DEVELOPMENT LENGTH:

ON COMP. SIDE - 40 * DIA OF BAR
ON TENSION SIDE - 60 * DIA OF BAR

- BEARING CAPACITY ASSUMED 200.00 KN/SQM TO BE EXCAVATED UP TO HARD STRATUM
- REFER ARCHITECTURAL DRAWINGS AND DIMENSIONS
- ANY TYPE OF OPENING FOR PLUMBING AND ELECTRICITY IS NOT PERMITTED THROUGH RC SECTIONS
- BURNT OIL IS NOT PERMITTED FOR SUTTERING
- ENSURE PROPER PLACEMENT OF STEEL AND AND COMPACTION OF CONCRETE BY ENGINEER INCHARGE
- EXISTING STRUCTURES BEHIND AT GROUND LEVEL
- DIMENSIONS ARE IN MM & MTR
- CENTERING AND SHUTTERING IS NOT OUR RESPONSIBILITY
- QUALITY CONTROL IS NOT OUR RESPONSIBILITY
- OUR RESPONSIBILITY IS LIMITED TO THIS DRAWING ONLY
- REFERENCES IS 456-2000 AND IS 13293-1993



NOTE: BEHIND EXISTING WALL AT GROUND LEVEL, CAPACITY OF ALL EXISTING WALL IS ZERO. CHECK EXISTING WALL, BRICKING & STRUCTURE. (11/11/2016-16/11/2016)

BT- 20th April-2016

| DETAILS AT GROUND AND PLINTH | | |
|---|---------------------|--|
| RCC DESIGN FOR PROPOSED CONSTRUCTION OF RESIDENCE | | |
| FOR MR. _____ AT AMBAYATI | | |
| JOB NO. _____ | DT: 28th April-2016 | FILE - E _____ |
| SHEET NO.-02 | SCALE:- 1 : 300 | DRAWN BY:- SKY |
|  | | PANKAJ DEBIBARDI AND ASSOCIATES ARCHITECTURAL ENGINEERS 5/6, HIGH ST. - WARD OFF - 5/14/1 CHITRAY, BIRBHADRI NAGAR AMBAYATI MH - 412224/09 Email: drsk.pankaj@gmail.com, pdrsknkp@gmail.com |
| SHAILENDRA KOLHE ARCHITECT / ENGINEER | | |

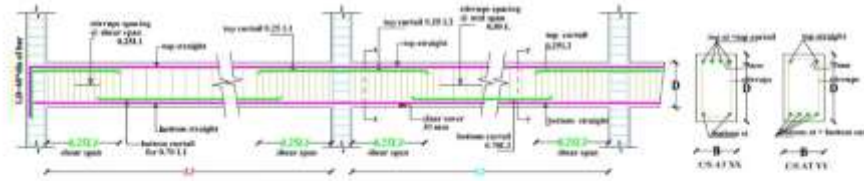
Sample Plan – RCC Beam

SCHEDULE FOR BEAMS @ ROOF OF GROUND FLOOR (CONC MIX - M 20)

| sr no. beams | nos. | size in mm B × D | main reinforcement | | | | stirrups | | | REMARKS |
|--------------|------|---------------------|--------------------|----------------|---------|-------------|----------|------------|------------|---------|
| | | | bottom | bottom curtail | top | top curtail | dia | mid span | shear span | |
| 1 | B1 | 230 × 300 | 2-10 mm | 0.70 L | 2-10 mm | 0.25 L | 6mm | 130 mm c/c | 100 mm c/c | |
| 2 | B2 | 230 × 300 | 2-10 mm | 1-10 mm | 2-10 mm | 1-10 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 3 | B3 | 230 × 300 | 2-10 mm | 2-10 mm | 2-10 mm | 2-10 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 4 | B4 | 230 × 300 | 2-12 mm | 2-12 mm | 2-12 mm | 2-12 mm | 6mm | 130 mm c/c | 100 mm c/c | |
| 5 | B5 | 230 × 450 | 2-12 mm | 2-12 mm | 2-12 mm | 2-12 mm | 6mm | 130 mm c/c | 100 mm c/c | |

SCHEDULE FOR SLAB @ ROOF OF GROUND FLOOR (CONC MIX - M 20)

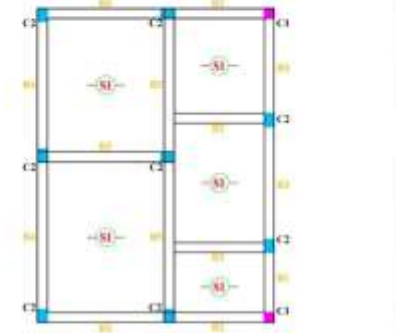
| sr no. surface | type | thickness | reinforcement | | | | rise | tread | REMARKS |
|----------------|------|-----------|---------------|------------|-------------|------------|------|-------|----------------|
| | | | PII to span | | Per to span | | | | |
| | | | dia | spacing | dia | spacing | | | |
| 1 | SI | 115 mm | 8 mm | 150 mm c/c | 8 mm | 250 mm c/c | | | ALT. BENT @ LS |



TYPICAL L/S @ BEAMS

- GENERAL NOTES:**
- GRADE OF CONCRETE:**
M20 FOR R.C.C [1:1.5:3]
M10 FOR P.C.C [1:2:4]
- GRADE OF STEEL:**
Fe 415 - 8 mm and above (IS 1786 - 1985)
Fe 415 - 6 mm - (IS 1786)
- MINIMUM COVER:**
COLUMNS - 30 mm
BEAMS - 30 mm
FOOTINGS - 50 mm FROM ALL SIDES
SLABS AND VERTICAL WALL - 20 MM
- DEVELOPMENT LENGTH:**
ON COMP. SIDE - 40 × DIA OF BAR
ON TENSION SIDE - 40 × DIA OF BAR

- BEARING CAPACITY ASSUMED 200 KGS/QM TO BE ENCAVATED UP TO HARD STRATUM
- REFER ARCHITECTURAL DRAWINGS AND DIMENSIONS
- ANY TYPE OF OPENING FOR PLUMBING AND ELECTRICITY IS NOT PERMITTED THROUGH RC SECTIONS
- BURNT OIL IS NOT PERMITTED FOR SHUTTERING
- ENSURE PROPER PLACEMENT OF STEEL AND AND COMPACTION OF CONCRETE BY ENGINEER INCHARGE.
- DIMENSIONS ARE IN MM & MTR.
- CENTRING AND SHUTTERING IS NOT OUR RESPONSIBILITY
- QUALITY CONTROL IS NOT OUR RESPONSIBILITY
- OUR RESPONSIBILITY IS LIMITED TO THIS DRAWING ONLY
- REFERENCES IS IS 456:2000 AND IS 13420 - 1983



PLAN @ ROOF OF GROUND FLOOR

DETAILS AT ROOF OF GROUND FLOOR

R.C.C DESIGN FOR PROPOSED CONSTRUCTION OF RESIDENCE
FOR MR. _____ AT AMRAVATI

SR NO. _____ DT: 20th April 2014 FILE NO. _____
SHEET NO. 02 SCALE: 1:100 DRAWN BY: VKY

PROJECT NO: 001010101 001 1001
STRUCTURAL ENGINEER
100, KALIA, SE - 414001
999 - 3214 110101, KUNHATHI NAGAR, AMRAVATI
98 9 1222 9600
Email: drk.vkumar@gmail.com, pdkumar@rediffmail.com

SHAILENDRA KOLHE
ARCHITECT / ENGINEER

Sample Plan - RCC Slab

Other 10 Sample Plans for Reference

ALTERNATIVE - 01



GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT

30 SQ.M PER UNIT

ALTERNATIVE - 03



GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT

30 SQ.M PER UNIT

ALTERNATIVE - 04



GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT

30 SQ.M PER UNIT

ALTERNATIVE - 05



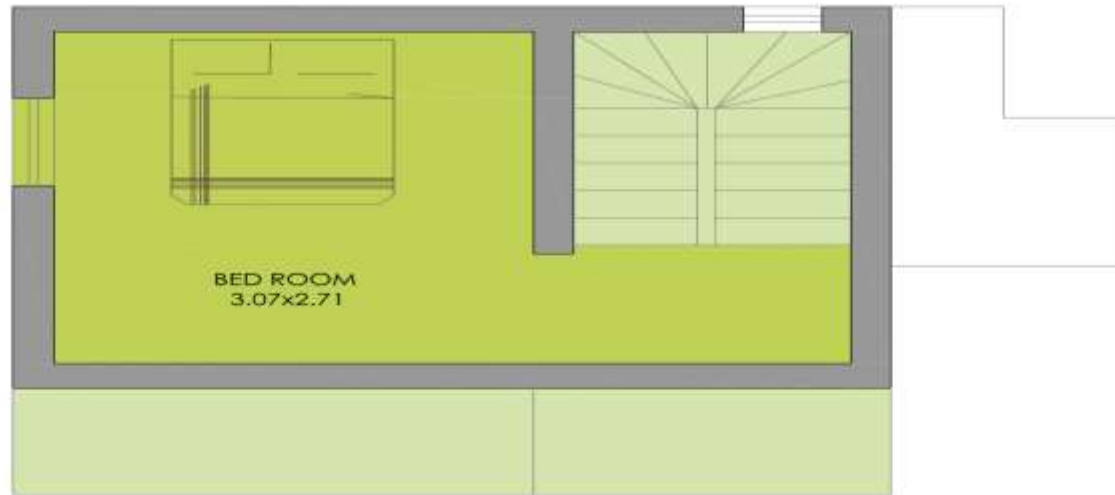
GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT

30 SQ.M PER UNIT

ALTERNATIVE - 06



FIRST FLOOR PLAN

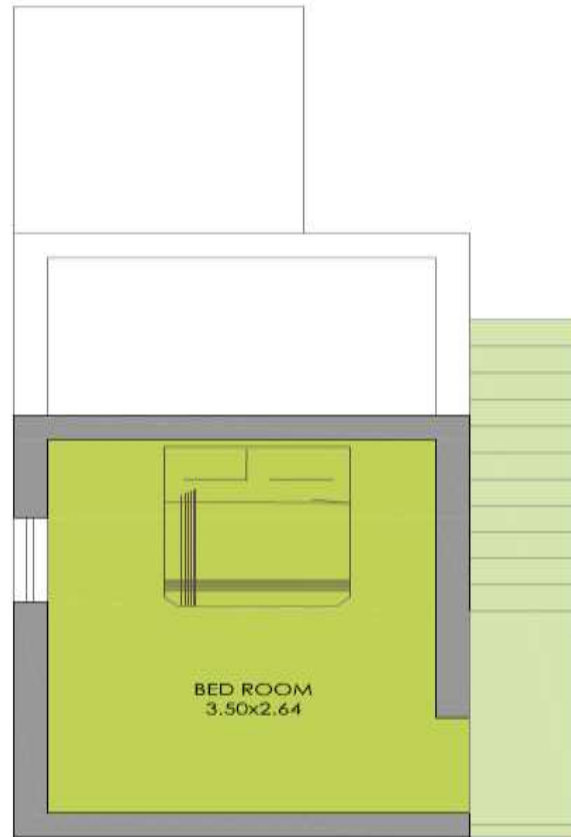


GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT
30 SQ.M PER UNIT

ALTERNATIVE - 07



FIRST
FLOOR PLAN

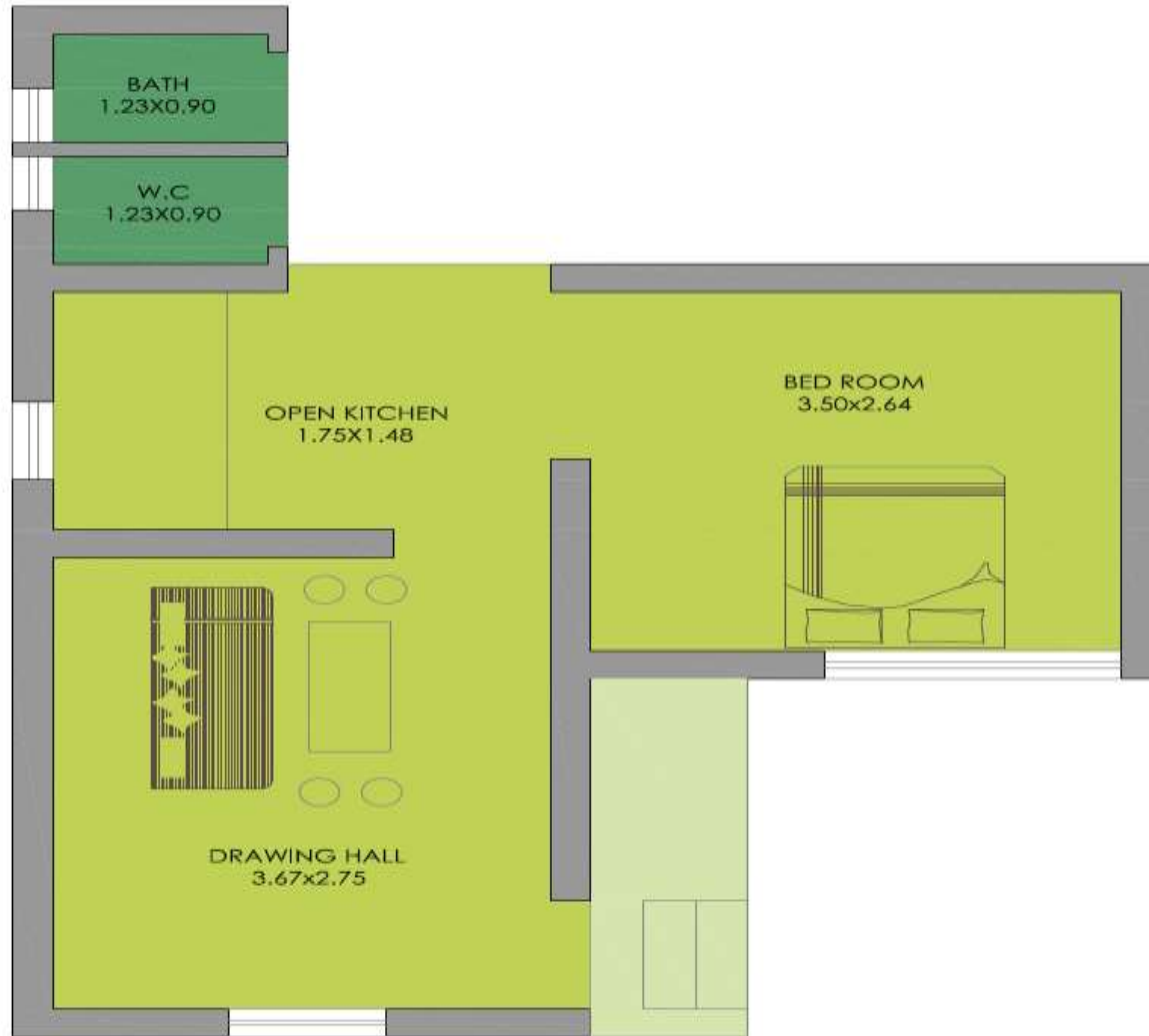


GROUND
FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT
30 SQ.M PER UNIT

ALTERNATIVE -08



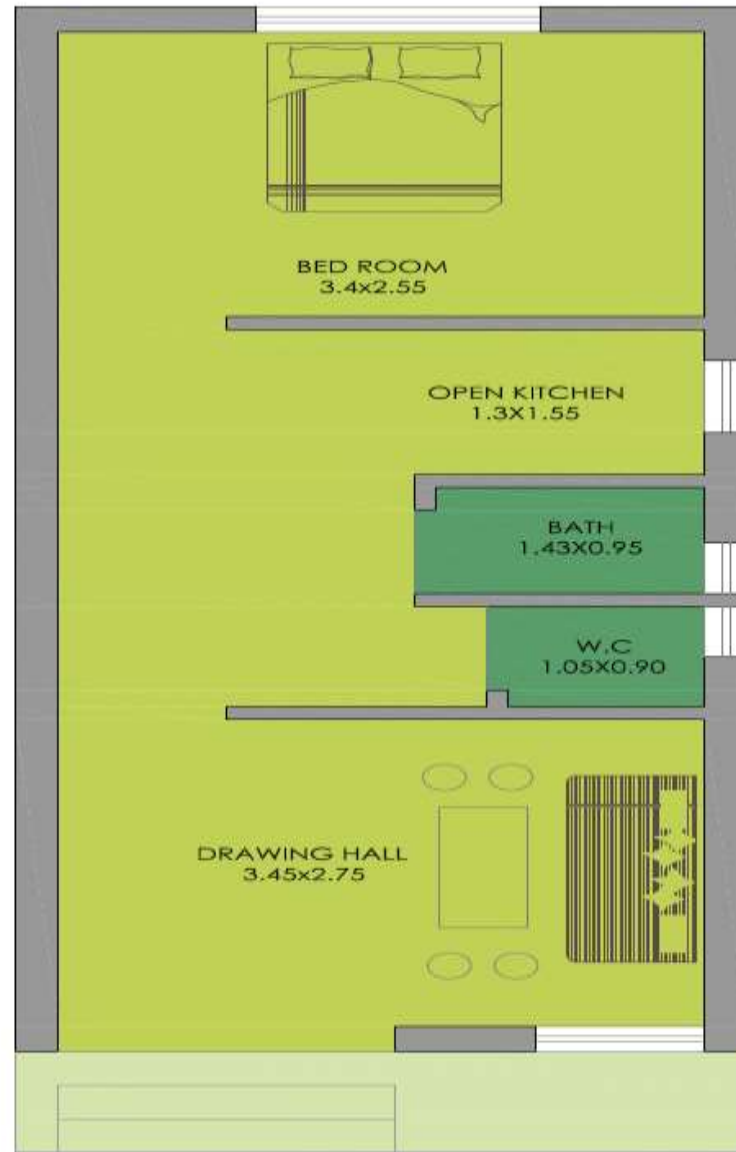
GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT

30 SQ.M PER UNIT

ALTERNATIVE -09

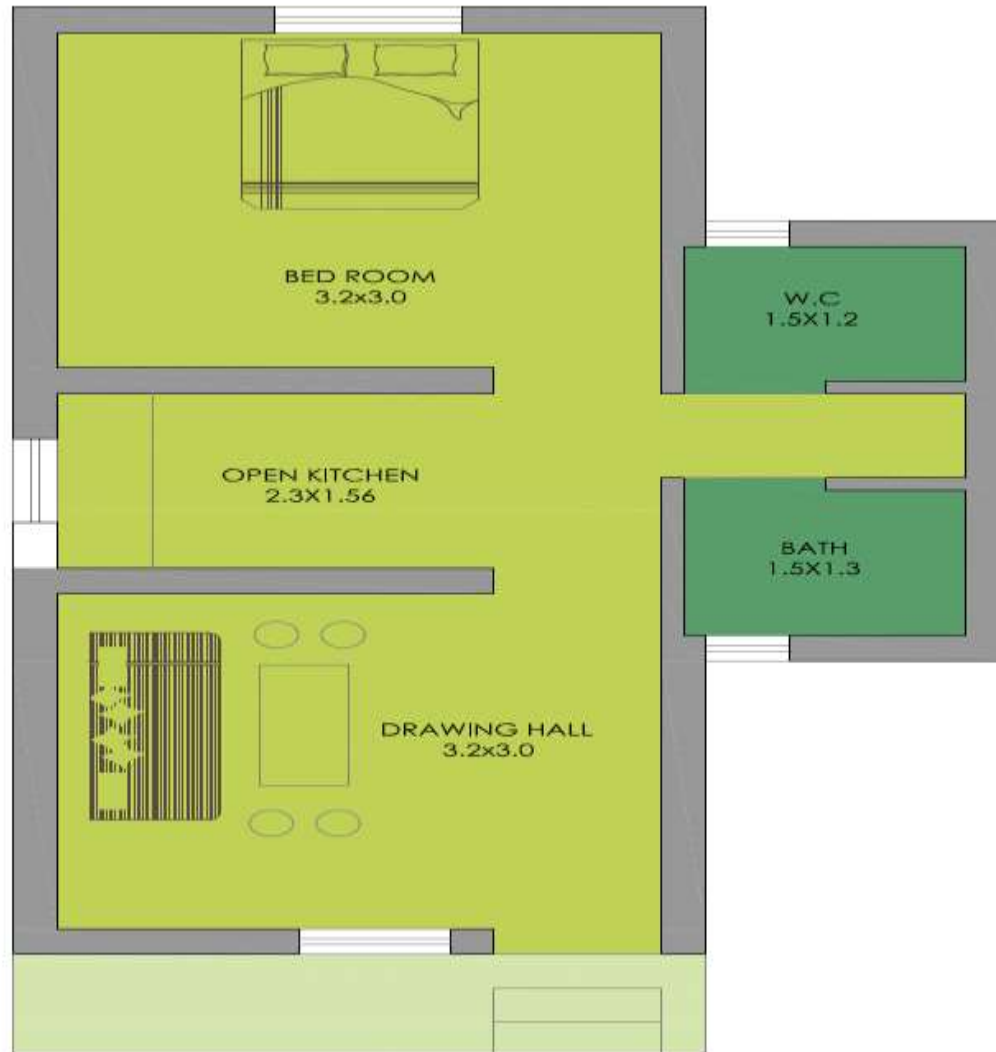


**GROUND FLOOR
PLAN**

PROPOSED DWELLING UNITS

HOUSE UNIT
30 SQ.M PER UNIT

ALTERNATIVE -10



GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT
30 SQ.M PER UNIT

ALTERNATIVE -11



GROUND FLOOR PLAN

PROPOSED DWELLING UNITS

HOUSE UNIT
30 SQ.M PER UNIT



DPR Format 7C

PROJECT UNDER BENEFICIARY LED CONSTRUCTION

| | | | |
|---|---|---|--|
| 1 | Name of the State | : | Maharashtra |
| 2 | Name of the ULB/City | : | Amravati |
| 3 | Project Name means Locality | : | EWS of all five zones within Amravati city limits. |
| 4 | Project Code* | : | To be filled by State. |
| 5 | State Level Nodal Agency | : | MHADA |
| 6 | Name of Implementing Agency (Urban Local Body/ Development Authority/ Housing Board/ Urban Improvement Trust/ Private Agency/ Developer) | : | Amravati Municipal Corporation, Amravati |
| 7 | Date of approval by State Level Sanctioning and Monitoring Committee (SLMC) | : | 16/03/2016 |

8 Project Cost (Rs. In Lakhs)

a) Mention Name & Year of Schedule of Rate 2015 -16

b) Rate of Construction per sq.mt. of Carpet Area& Built up area.

c) Attach detail estimate of building, infrastructure and other.

Current Schedule Rate of Amravati Region, Amravati District for 2015 -16

| Name | Carpet Area (Rs.) | Built-up Area (Rs.) |
|--|-------------------|---------------------|
| EWS of all five zones within Amravati city limits. | 13667 per Sqm | 10380 per Sq |

Detail Estimate Attached

| Housing | Infrastructure | Other | Total |
|----------------|----------------|---------------|--------------|
| 25247.80 lakhs | 00 lakhs | 2524.78 lakhs | 27772. lakhs |

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------|--|---|---|-----|-----------|------|----------|--|--|--|--|--|-----------|-------------|---|--|--|--|------|-------------|---|--|--|--|------|-------------|---|--|--|--|------|-------------|---|--|--|--|------|-------------|---|--|--|--|------|-------|---|--|--|--|------|
| 9 | No. of Beneficiaries covered in the project. | : | <table border="0"> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td>New House</td> </tr> <tr> <td>1) Zone - 1</td> <td>-</td> <td></td> <td></td> <td></td> <td>1382</td> </tr> <tr> <td>2) Zone - 2</td> <td>-</td> <td></td> <td></td> <td></td> <td>0617</td> </tr> <tr> <td>3) Zone - 3</td> <td>-</td> <td></td> <td></td> <td></td> <td>1832</td> </tr> <tr> <td>4) Zone - 4</td> <td>-</td> <td></td> <td></td> <td></td> <td>0972</td> </tr> <tr> <td>5) Zone - 5</td> <td>-</td> <td></td> <td></td> <td></td> <td>1355</td> </tr> <tr> <td>Total</td> <td>-</td> <td></td> <td></td> <td></td> <td>6158</td> </tr> </table> | | | | | | | | | | New House | 1) Zone - 1 | - | | | | 1382 | 2) Zone - 2 | - | | | | 0617 | 3) Zone - 3 | - | | | | 1832 | 4) Zone - 4 | - | | | | 0972 | 5) Zone - 5 | - | | | | 1355 | Total | - | | | | 6158 |
| | | | | | New House | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1) Zone - 1 | - | | | | 1382 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2) Zone - 2 | - | | | | 0617 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3) Zone - 3 | - | | | | 1832 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4) Zone - 4 | - | | | | 0972 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5) Zone - 5 | - | | | | 1355 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total | - | | | | 6158 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | i) No. of Beneficiaries (New Construction) | : | Gen | SC | ST | OBC | Minority | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | 2966 | 713 | 32 | 2417 | 872 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | ii) No. of Beneficiaries (Enhancement) | : | - | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| | | |
|----|---|--|
| 11 | <p>Whether selected Beneficiaries have rightful ownership of land.</p> <p>If yes, give details.</p> | <p>Yes,</p> <p>All 6158 Beneficiaries submitted on line applications along with title of ownership such as city survey records, revenue records, 6/2 records, property tax records etc.</p> |
| 12 | <p>(i) Whether building plan for all houses have been approved.</p> <p>(ii) If yes, attach approved copy of building plans for all houses.</p> <p>(iii) If no, suggest solution.</p> <p>(iv) Whether layout plan for project have been approved. If yes, attach copy.</p> <p>(v) If no, suggest solution.</p> <p>(vi) Whether Project requires environmental clearance.</p> <p>If yes, whether clearance is obtained.</p> <p>If no, whether it will be obtained before commencement of work.</p> <p>If yes, attach approved copy of layout.</p> <p>If no, suggest solution.</p> | <p>(i) No,</p> <p>(ii) -</p> <p>(i) -</p> <p>(i) Yes, All beneficiaries possess land in residential zone so building plans will be approved after sanctioning of project by SLSMC.</p> <p>(i) -</p> <p>(ii) No</p> |
| 13 | <p>i) GoI grant required @ Rs. 1.50 Lakhs per eligible beneficiaries= New Houses (6158 DUs x 1.50) (Rs. In Lakhs)</p> | <p>9237.00 lakhs</p> |

| | | | |
|----|---|---|----------------|
| | ii) State grant @ Rs.1.00 lakhs = New Houses (6158 DUs x 1.00) (Rs. In Lakhs) | : | 6158.00 lakhs |
| | iii) ULB share, If any @ Rs..... / Home, Total Rs...../- (Rs. In Lakhs) For Infrastructure | : | 00.00 lakhs |
| | iv) Beneficiary Share @ Rs..... / Home, Total Rs...../- New Houses (6158 DUs x 2.01) | : | 12377.58 lakhs |
| | vi) Total (Rs. In Lakhs) ('i' to 'iv' above) | : | 27772.58 lakhs |
| 14 | Whether technical specification/ design for housing have been ensured as per Indian Standards/ NBC/ State norms? | : | Yes |
| 15 | Whether disaster (earthquake, flood, cyclone, land-slide etc.) resistant features have been adopted in concept, design and implementation? | : | Yes |

| | | | |
|----|--|---|--|
| 16 | Whether Quality Assurance is part of the Project, if not, how it is proposed to be ensured? | : | Yes |
| 17 | Project Completion Period (in months) | : | 22 Months. |
| 18 | Whether O& M is part of Project, If yes, for how many years? | : | Yes, AMC will maintain the services. |
| 19 | Table showing details of Land under project be given in the Table. Please attach 7/12 extract and D.P. Plan. If land is not owned by proponent the document of authority with proponent be attached. | : | Yes All 6158 Beneficiaries submitted on line applications along with title of ownership such as city survey records, revenue records, 6/2 records, property tax records etc. |

| 20 | Details of inspection carried out by a Competent Officer of ULB. | : | |
|----|--|---|---|
| | 1) Name of Officer | : | Er. Sanjay N. Pawar |
| | 2) Designation | : | Executive Engineer, Municipal Corporation, Amravati. |
| | 3) Date of Inspection | : | 25/02/2016 to 14/03/2016 |
| | 4) Whether land as proposed, is located | : | Yes, All Beneficiaries possess land within city limits and within residential zones |
| | 5) Status of land | : | Land is owned & possessed by 6158 beneficiaries in Residential Zones. |
| | (i) Whether free from encroachment If no, suggest solution. | : | Yes |
| | (ii) Whether free from flood area If no, suggest solution. | : | Yes |
| | (iii) Whether land is fit for building construction If no, suggest solution. | : | Yes |
| | (iv) Whether High Tension Power Line passing through project land affecting the project. If yes, suggest solution. | : | No |
| | (v) Is any possibility of water stagnation If yes, suggest solution. | : | No |
| | (vi) Whether land is abutting to burial, cremation ground, cliff having chances of land slide or chemical hazardous factories. | : | No |


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|----|--|---|
| 21 | Availability of off-site infrastructure for project site | : Available |
| | 1. Approach Road with width | : Available |
| | 2. Water Supply details | : Available |
| | 3. Power details | : Available |
| | 4. Drainage details | : Sewerage System - being executed by AMC Strom Water Drain - Available |
| | 5. Solid waste management | By the Municipal Corporation |
| 22 | Whether adequate social infrastructure facilities covered in the project; If no, availability of Social Infrastructure. | |
| | 1. Name of nearest Primary School & distance from site. | : Primary & Secondary schools are available within 2 to 3 kms in AMC city limits. |
| | 2. Details of Dispensary & distance from site. | : Civil hospital, Woman's hospital are available within 5 to 10 kms in AMC city limits. |
| | 3. Market name & details & distance from site. | : Market area is present within 5 to 10 km in AMC city limits |
| | 4. Nearest Public Bus Stop & distance from site. | : Amravati Bus stand, Centrally located & City Buses available within vicinity of 1 km. |
| | 5. Nearest Railway Station & distance from site. | : Amravati, New Amravati & Badnera Railway stations, are within 2 to 10 km distance. |

| | | | |
|----|--|---|---|
| 23 | <p>Name of beneficiaries organization/ society who proposed the project with details address.</p> <p>Whether applicant organization has registered Co-operative Housing Society.</p> <p>If yes, Give name & registered name.</p> | : | <p>All 6158 beneficiaries submitted online applications & are going to execute on land possessed by them.</p> <p>Not applicable</p> |
| 24 | <p>Whether Project is included in Housing For All Plan of Action (HFAPoA).</p> <p>If no, whether it will be included in next year plan.</p> | : | <p>No, HFAPoA preparation is in process and HFAPoA will be got ready by August 2016</p> <p>Yes</p> |
| 25 | <p>Whether Annual Implementation Plan (AIP) for HFAPoA has been proposed</p> <p>If yes, whether the Project under consideration is included in AIP.</p> <p>If no, whether this project will be included in AIP of next year.</p> | : | <p>No,</p> <p>Yes, This project will be included in AIP.</p> |
| 26 | <p>Eligibility :</p> <p>(i) Whether eligibility of beneficiaries in terms of EWS and Homelessness is verified and certified by the Chief Officer or CEO or Commissioner or MD of ULB (as the case may be).</p> <p>(ii) If yes, please attach list of eligible beneficiaries separately in prescribed format duly signed by the Chief Officer or CEO or Commissioner or MD of ULB (as the case may be).</p> <p>(iii) If no, propose solution.</p> | : | <p>Yes</p> <p>List is Attached</p> |

| | | | |
|----|--|---|--|
| 27 | Please attach google map of entire city. | : | Yes, city google map attached |
| 28 | Please state any innovative technologies or green building concept proposed. | : | Construction in AAC block & Fly ash bricks will be promoted along with water harvesting & Solar power. |
| 29 | Any other information in brief ULB would like to furnish. | : | Amravati city included in first 100 "SMART CITIES" & also covered under Solar City programme of GoI. |

Implementation Plan

- Implementation Plan is given in the Detailed Presentation sent along with this presentation.



Thank You.....